

Tyler County Courthouse, Woodville, Texas
Remedial Measures

Public Notice and Request for Qualifications

Tyler County is seeking qualifications statements from professional architectural and engineering firms (here-in referred to as AE) for building assessment, design, specifications and construction documents, construction administration, and project close-out for specific remediation measures, and potentially additional phased work to rehabilitate other portions of the historic Tyler County Courthouse of 1892/1937. It is the County's intention to select a single architectural/engineering firm for this project.

The proposed project will address the remediation measures outlined by the Texas Historical Commission:

- 1) Ceiling treatments including salvaged metal tiles, plastic medallions and wood beams must be removed. Ceilings must be painted wood beadboard to match the historic materials. Limited drywall fur-downs may be used to encase existing mechanical equipment as needed but must be minimized.
- 2) The nineteenth-century style wood casing on the metal vault door in Room 110 must be removed leaving the original metal frame to the fire-proof vault exposed and intact.
- 3) No brick masonry may be exposed. Interior wall surfaces that were previously plastered must be completely re-plastered or sheet-rocked.
- 4) All exterior brick walls that were previously stuccoed must be re-stuccoed.
- 5) Vinyl replacement windows including sashes, frames and moldings must be removed and replaced with new wood windows that match the historic windows in design, dimensions and materials in those locations. Where replacement aluminum windows existed prior to the 2015 remodeling, the County must substantiate the existence of the aluminum windows prior to the work performed November 1, 2015 through April 30, 2018 and will not be required to replace these locations with new wood windows;

All proposed work must be submitted to the Texas Historical Commission for review and approval prior to implementation, and conform to The Secretary of the Interior's *Standards for the Treatment of Historic Properties* by **December 1, 2019**. The work must be **complete no later than December 31, 2020**.

Documents and information related to this Request for Qualifications may be obtained only from the County Judge's office at the address below. Information obtained from any other source will not be considered valid in the evaluation process and may be a basis for disqualification.

A project preview meeting and walk-through will be offered for interested firms at **10:00 a.m. on Friday, May 10, 2019** in the Commissioners Courtroom in the Tyler County Courthouse at 100 W. Bluff St., Woodville, Texas.

** Please call our office at (409) 283-2141 by Thursday, May 9, 2019, if you will attend the project preview meeting and walk-through on May 10th.

Qualification Statements shall be addressed to:

The Hon. Jacques L. Blanchette
Tyler County Judge
100 W. Bluff St., Rm. 105
Woodville, TX 75979

Each proposal shall be submitted in a sealed envelope clearly marked "AE Qualifications", and delivered no later than **2:00 p.m. on Tuesday, June 4, 2019**.

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Summary of Services to be Performed

The County seeks the services of a technically-oriented firm with the skills and experience necessary to develop a plan which addresses remedial work required by the Texas Historical Commission, as well as potentially additional phased work to rehabilitate other portions of the building, as determined by the County.

Professional services shall include a detailed study of previous master plans to identify extant historic features and materials. The project will address all items listed in the Agreement between Tyler County and the THC which include returning the building to previous conditions and reinstating historic materials. The scope may also include potentially phased rehabilitation of additional portions of the building that are currently unoccupied and/or additional improvements to the building in general.

All work shall comply with the Secretary of the Interior's *Standards for Rehabilitation* and will be presented to the County and Texas Historical Commission for approval. Upon approval, the project scope will be developed in the form of construction drawings and specifications.

Upon completion of construction documents and their approval by Tyler County and the Texas Historical Commission, the AE shall assist the Owner in seeking competitive sealed proposals for the construction of the work. The AE's services shall include issuing bid documents to proposers, responding to proposers' questions, and conducting a pre-proposal conference.

AE will assist in receiving priced proposals, assist with proposal openings, evaluations and selection of a qualified contractor offering the best combination of relevant experience and competitive price to the County. Upon award of the project, AE will assist the County by preparing construction contract documents for execution by the successful bidder and the County.

Construction phase services include: attend weekly site visits for observing progress and quality of work being performed; participate in weekly progress meetings; respond in writing to contractor's questions; review and comment on submittals and shop drawings; enforce compliance with the contract documents; prepare and process change orders; issue directives and interpretations; conduct and issue punchlist from inspections at appropriate intervals; assist with inspections by regulatory authorities for compliance with codes; issue certificates of substantial completion and final completion.

Upon completion of the project, the AE will prepare and provide the County with Record Drawings and Specifications for the project, along with a Completion Report and project photographs required by the agreement with the Texas Historical Commission. Photographs will capture essential aspects of the work from the same angle and distance before, during and after completion of the work.

All services performed by the AE shall be coordinated with Tyler County's designated Project Manager. Transmittal of all documents shall be directed to the Project Manager for review. The Project Manager will forward to the respective responsible party within Tyler County. All responses from the County to the AE will be through the Project Manager.

Tyler County Courthouse, Woodville, Texas
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The Historic Tyler County Courthouse of 1892/1937

The Tyler County Courthouse was built in 1891-2 and extensively remodeled in 1935-7. The front part of the building served as the County's third Courthouse. It was designed by Glover and Hodges of Corpus Christi in 1891 in the Victorian and Italianate styles, and was built by the McKnight Brothers.

During the mid-1930s, the Courthouse was expanded and remodeled into a "Moderne Style" through a Works Progress Administration project and additional construction. A four-story addition, including a new jail and office space, expanded the footprint of the building. Additionally, an exterior stairway was added to the north side of the building, and the entire exterior was covered with stucco, covering the original red brick. The original roof line and clock tower were significantly altered.

The Tyler County Courthouse is a Registered Texas Historic Landmark, and is listed on the National Register of Historic Places. It is protected by a preservation easement granted in 2004 to the THC in perpetuity following an emergency grant for electrical upgrades after an electrical fire a few years earlier.



Tyler County Courthouse, Woodville, Texas
Remedial Measures

Response Requirements

AE responses shall clearly describe the AE firm's capabilities, as well as experience to incorporate the services provided by professionals engaged from outside their firm. Professional resumes, photographs and descriptions of projects completed by the firm may be used to present this information.

The objective of the Owner's evaluation of the proposals is to identify the firms having the best qualifications, experience and staff to provide the AE services in connection with the project described here-in. Specifically, the following information is to be addressed in the proposal and in the following order:

The Firm	Furnish official name, address, type of organization (corporation, partnership, sole proprietor) and brief history.
Principal Business	Describe the types of architectural / engineering projects in which your firm is usually engaged.
Officers of the Firm	List by name, position, address, telephone, resume. Furnish resume of the principal who will be responsible for the work if selected.
Professionals	List all other professionals employed with type of registration. Furnish resumes of specific professionals who would be assigned to work on this project if selected.
Clients & Projects	List the principal clients you have served over the past five years.
	Describe at least five projects, having a scope similar to that described in this RFQ, completed by your firm in the past five years. Include completed project cost, if available.
Challenges	Discuss unique challenges encountered during the course of any of these projects.
	Describe your firm's solution to these conditions that demonstrate creative problem solving and value-added to the process and outcome.
References	Furnish a list of references to include the full name, title, company, address and telephone number of individuals who can be contacted with regard to your firm's performance as follows:
	5 Previous Client references - one from each of the above five projects.
	2 Financial references - Banker and Accountant.
Insurance	Provide current Certificates of Insurance for Professional Liability, and all other coverages carried by your firm.

Tyler County Courthouse, Woodville, Texas
Remedial Measures

Evaluation and Selection

AE responses received within the specified time, place and containing all information requested will be evaluated by a committee selected and appointed by County Judge and Commissioners. The evaluation committee will review all proposals to determine those firms offering the best qualifications, experience and staff based upon the proposal information submitted. References will be contacted as necessary to verify information submitted and to determine by independent observation how well the firm has performed on projects of similar type as described in this RFQ.

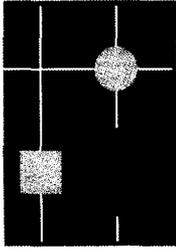
The evaluation process will continue until three firms are identified which offer the best overall combination of qualifications and experience for the project. **The top three firms will be invited to interview June 17-18,** and present their qualifications, introduce key project professionals, and present their recommended approach to the delivery of services. Additionally, the committee will be interested in each firm's observations made during the project preview and walk-through on May 10.

Tyler County expects that the persons introduced at this meeting will actually be assigned to the project and will remain on the project throughout the duration. Any deviation from this requirement must be with the concurrence of the County's Project Manager and County Judge.

The three firms will be ranked first through third. Negotiations for an AE professional services agreement will commence between the County and the top ranked firm. Should an acceptable agreement for services fail to be reached with this firm, negotiations will cease and the second firm will be invited to negotiate an agreement for services. Likewise, should negotiations fail between the second firm, the third firm will be invited for negotiations. If all three fail, then three other firms will be invited to present their proposals. The rating and negotiations will resume in the same order.

Final selection by the committee will be forwarded to the Commissioners Court for acceptance and award. Once selection is accepted and awarded by Commissioners Court all firms will be notified of the selection no later than July 1, 2019.

The selected AE shall forward certificates of insurance, W-9, and then execute the agreement for professional services with the Tyler County Judge. A purchase order will be issued by the County for payment of satisfactory services rendered and approved by County's Project Manager.



The LaBiche
ARCHITECTURAL GROUP, INC.

Dohn H. LaBiche, FAIA - Principal
Greg Wall, AIA - Principal

7999 Gladys Avenue, Suite 101
Beaumont, Texas 77706
(409) 860-0197 • Fax (409) 860-0198

June 28, 2019

Tyler County Commissioners Court
Judge Jacques L. Blanchette
100 W. Bluff, RM #105
Woodville, TX 75979

Project: Rehabilitation to the Tyler County Courthouse

Re: Proposal for Architectural Services

Dear Judge Blanchette,

We appreciate the opportunity to submit this proposal for Architectural Services for the referenced project for your approval. The LaBiche Architectural Group, Inc. (hereinafter "Architect") shall provide to Tyler County Commissioners Court, (hereinafter "Client") the services described below for the compensation described below. This proposal is based upon our discussions with Client and recent site visits.

PROJECT INFORMATION:

The project, as we understand it, is the work referenced in the Texas Historical Commission, "Remediation Targets and Optional Scope Items" by Sharon Fleming dated May 16, 2019 (attached as Exhibit A) and the additional items of work identified by Judge Blanchette during our site visit on Tuesday, June 25, 2019 (attached as Exhibit B).

SCOPE OF WORK:

The Architect and the Architect's consultants shall perform those services described below:

WORK OUTLINE

A. Professional Services Agreement

1. Resolve Base and Additional scope items and obtain THC approval for the "Remediation Targets and Optional Scope Items" consisting of the following and as described in Exhibits A and B:

Architectural Proposal for
Tyler County Courthouse

a. Base Remediation Target descriptions:

- i. Ceiling treatments including salvaged metal tiles, plastic medallions and wood beams must be removed. Ceilings must be painted wood beadboard to match historic materials. Limited drywall fur-downs may be used to encase mechanical equipment as needed but must be minimized;
- ii. The nineteenth-century style wood casing on the metal vault door in room 110 must be removed leaving original metal frame to fire-proof vault exposed and intact;
- iii. No brick masonry may be exposed. Interior wall surfaces that were previously plastered must be completely re-plastered or sheet-rocked with no exceptions in keeping with the historic character of the building;
- iv. All exterior brick walls previously stuccoed must be restuccoed; and
- v. Vinyl replacement windows including sashes, frames and moldings must be removed and replaced with new wood windows that match the historic windows in design, dimensions and materials in those locations. Where replacement aluminum windows existed prior to the 2015 remodeling, the County must substantiate the existence of the aluminum windows prior to the work performed 11/1/15 through 4/30/2018 and will not be required to replace these locations with new wood windows.

b. Optional Scope Items:

- i. Modifications to the District Clerk's Area;
- ii. Modifications to District Judge's offices and jury area; and
- iii. Modifications to spaces adjacent to the Commissioner's Courtroom.

B. Scope of Work

1. Provide laser scans for accurate floor plans of the existing building to be used for the Probable Cost statement for the Remediation Targets and Optional Scope Items.
2. Provide Probable Cost for project scope for the Remediation Targets and Optional Scope Items.
3. Secure THC approval of project scope for the Remediation Targets and Optional Scope Items.
4. Provide the County with copies of any and all documents prepared under this contract, including, but not limited to reports, plans, correspondence to and from the Texas Historical Commission, statements, forms, etc.

TERM

This agreement shall be effective on the execution by parties and shall continue in effect until the matter has been finally resolved or upon 30 days written notice by either party.

Architectural Proposal for
Tyler County Courthouse

COMPENSATION:

The scope of work outlined above will be performed at an hourly rate not to exceed **Fifteen Thousand Dollars (\$15,000.00)**, plus reimbursable expenses and distributed as follows:

- Additional Services requested by Client will be charged hourly per the fee schedule attached.
- Reimbursable expenses shall include all printing required for the project. Other expenses shall be approved by Owner prior to expenditures. Cost of reimbursable expenses shall be billed at 1.25 times the expenditure.

We have assembled this proposal based on our understanding of the specific needs related to this project. If you are in agreement with the terms and qualifications of this proposal, please sign one copy and return to us.

Respectfully,



Dohn H. LaBiche, FAIA

Approved By:

Judge Jacques L. Blanchette

Date

Architectural Proposal for
Tyler County Courthouse

HOURLY RATE SCHEDULE

<u>PERSONNEL</u>	<u>HOURLY RATE*</u>
Principal/ Engineer I / Historical Consultant	150.00
Senior Project Architect/ Engineer II	125.00
Project Architect	100.00
Intern Architect II	95.00
Intern Architect I	80.00
Laser Scan Technician and Equipment	95.00
Draftsman	60.00
Secretarial	50.00

*The rates for services of the Architect as set forth in this Agreement shall be adjusted in accordance with their normal salary review practices.

The Texas Board of Architectural Examiners has jurisdiction over complaints regarding the professional practices of persons registered as architects in Texas.

*Texas Board of Architectural Examiners
P.O. Box 12337
Austin, TX 78711-2337
Telephone: (512) 305-9000 / Fax: (512) 305-8900*

Ceiling and Wall Finishes, Doors and Millwork - Items 1 thru 3				
LOCATION	THC ROOM #	NOTES	COMMENT	ITEM
Basement	Room 001-004	Provide an appropriate 1930's interior window finish treatment at windows. (See existing and windows 205 & 206 for possible duplication.)	Remediation	Item 5
First Floor				
Hallway	Room 113	Cover all exposed brick with lime plaster, paint.	Remediation	Item 3
Room 100	Room 100	Remove medallion from ceiling. Provide new wooden bead board ceiling at full height. Minimize fur-down for mechanical systems. Cover all exposed brick with lime plaster.	Remediation	Item 1
Room 101	Room 101	Remove wallboard. Repair and refinish walls. Provide 1890's casing at windows. (See Windows 239 & 240.) Replace door to Room 101 to be consistent with 1890's millwork.	Additional Scope	
Room 101	Room 101	Provide new wooden bead board ceiling at full height. Minimize fur-down for mechanical systems.	Remediation	Item 1
Room 101	Room 101 & 102	Replace door to Room 101 and 102 to be consistent with 1890's millwork.	Additional Scope	
Room 102	Room 102 & 103	Remove partition. Provide new wooden bead board ceiling at full height. Minimize fur-down for mechanical systems. Repair and refinish existing plaster walls. Provide 1890's casing at windows. (See Windows 239 & 240.)	Remediation	Item 1
Room 103	Room 104	Repair and refinish existing plaster walls. Remove suspended ceiling.	Additional Scope	
	Room 104	Replace door to Room 104 to be consistent with 1930's (or 1890's) millwork	Additional Scope	
Room 104	Room 105	In process of demolition. Remove suspended ceiling. Provide new gypsum board ceiling (if acoustical tiles are not available) at full height. Minimize fur-down for mechanical systems. Remove partitions. Repair and refinish existing plaster walls and ceiling.	Remediation	Item 1
Room 104	Room 105	Replace door to Room 105 to be consistent with 1930's (or 1890's) millwork.	Additional Scope	
Room 105	Room 116 (hallway) & 118	Remove medallions and decorative ceiling treatments. Restore 1930's ceiling treatment. Provide gypsum board ceiling if acoustical tiles are not available. Minimize fur-down for mechanical systems.	Remediation	Item 1
Room 106	Room 106, 119, 120 & 121	Remove medallions and decorative ceiling treatments. Restore 1930's ceiling treatment at full height. Provide gypsum board ceiling if acoustical tiles are not available. Minimize fur-down for mechanical systems. Cover all exposed brick with lime plaster.	Remediation	Item 1 Item 3
Room 109	Room 109	Remove medallions and decorative ceiling treatments. Restore 1930's ceiling treatment at full height. Provide gypsum board ceiling if acoustical tiles are not available.	Remediation	Item 1
Room 110	Room 110	Remove exposed beams and decorative ceiling treatments. Provide new wooden bead board ceiling at full height. Minimize fur-down for mechanical systems. Remove wood casing on vault door on north wall.	Remediation	Item 1 Item 2
	Room 111	Cover all exposed brick with lime plaster. Finish window openings with plaster to match original.	Remediation	Item 3 Item 5
	Room 112	Remove medallion from ceiling. Provide new wooden bead board ceiling at full height. Minimize fur-down for mechanical systems.	Remediation	Item 1

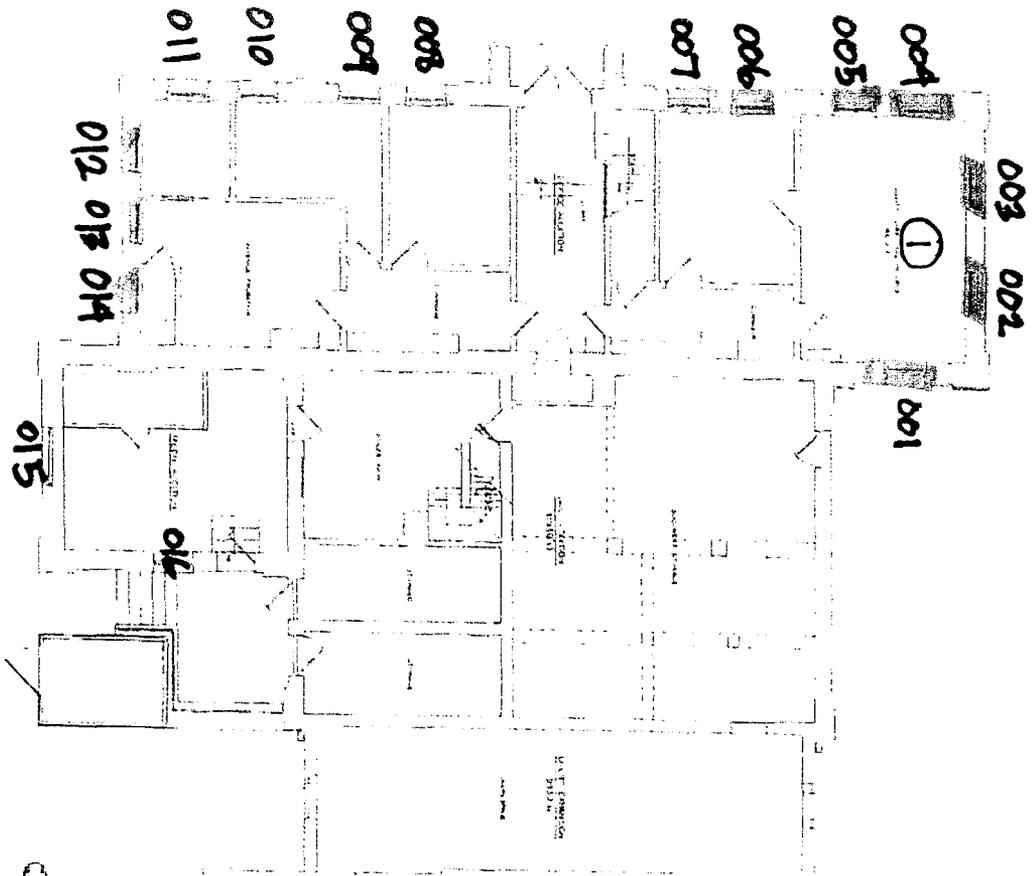
LOCATION	THC ROOM #	NOTES	COMMENT	ITEM
Second Floor				
	Room 200	Change use of Room 200 from District Clerk's Office to Breakroom.	Additional Scope	
District Clerk Conf. Room	Room 201-202	Plaster walls and ceiling. Provide 1890's casing at windows 231-235. (See Windows 239 & 240.) Install trim to match trim in Room 200.	Remediation	Item 3 Item 1
	Room 201-202	Change use of Room 201-202 to District Clerk's Office.	Additional Scope	
	Room 202-203	Provide door (opening) in previous location between Room 202 and 203.	Additional Scope	
	Room 203	Remove HVAC equipment from Room 203 and provide a new use.	Additional Scope	
Room 206	Room 206 & 207	Provide 1930's casing at all windows. (See Windows 205 & 206.)	Remediation	Item 5
Room 209	Room 209	Provide a chase for the electrical cabinets and conduit in the Northeast corner of the courtroom.	Additional Scope	
Third Floor				
Room 309	Room 309	Provide gypsum board wall finish for fire protection in storage room.	Additional Scope	

Exterior Stucco - Item 4				
LOCATION	NOTES		COMMENT	ITEM
East Elevation	Stucco and paint exterior walls of Rooms 111, 211 and 303 on east elevation of courthouse.		Remediation	Item 4
All elevations	Repaint all exterior walls		Additional Scope	

Windows – Item 5: 31 1930s replica wood windows and possibly an additional 13 new metal windows				
LOCATION	THC WINDOW #	NOTES	COMMENT	ITEM
Basement	001 thru 014	Replace vinyl windows to match 1930's wood windows. Provide 1930's casing at windows. (See Windows 205 & 206.)	Remediation	Item 5
1st Floor	107 thru 117	Replace vinyl windows to match 1930's wood windows. Provide 1930's casing at windows. (See Windows 205 & 206.)	Remediation	Item 5
	125 & 126	Replace vinyl windows with new replica 1890's fireproof metal windows with wire glass. Provide appropriate interior finish out based documentation of pre-existing conditions or if not available, on similar conditions in other courthouses (consult with THC).	Remediation	Item 5
2nd Floor	201 thru 204	Replace vinyl windows to match 1930's wood windows. Provide 1930's casing at windows. (See Windows 205 & 206.)	Remediation	Item 5
	244	Replace vinyl window to match 1930's wood windows. Provide 1930's casing at windows. (See Windows 205 & 206.)	Remediation	Item 5
3rd Floor	301 thru 310 & 343 thru 346	Replace vinyl windows to match 1930's aluminum jail windows (unless County substantiates that the extant windows were not historic)	Possible Remediation	Item 5
1 st , 2 nd and 3 rd Floor	Various	Conduct condition survey of 104 remaining historic windows (sash, frames and sill) to determine what repair/restoration work is required. Restore all to functioning condition.	Additional scope	

Attachment B

① INTERIOR WINDOW TREATMENT



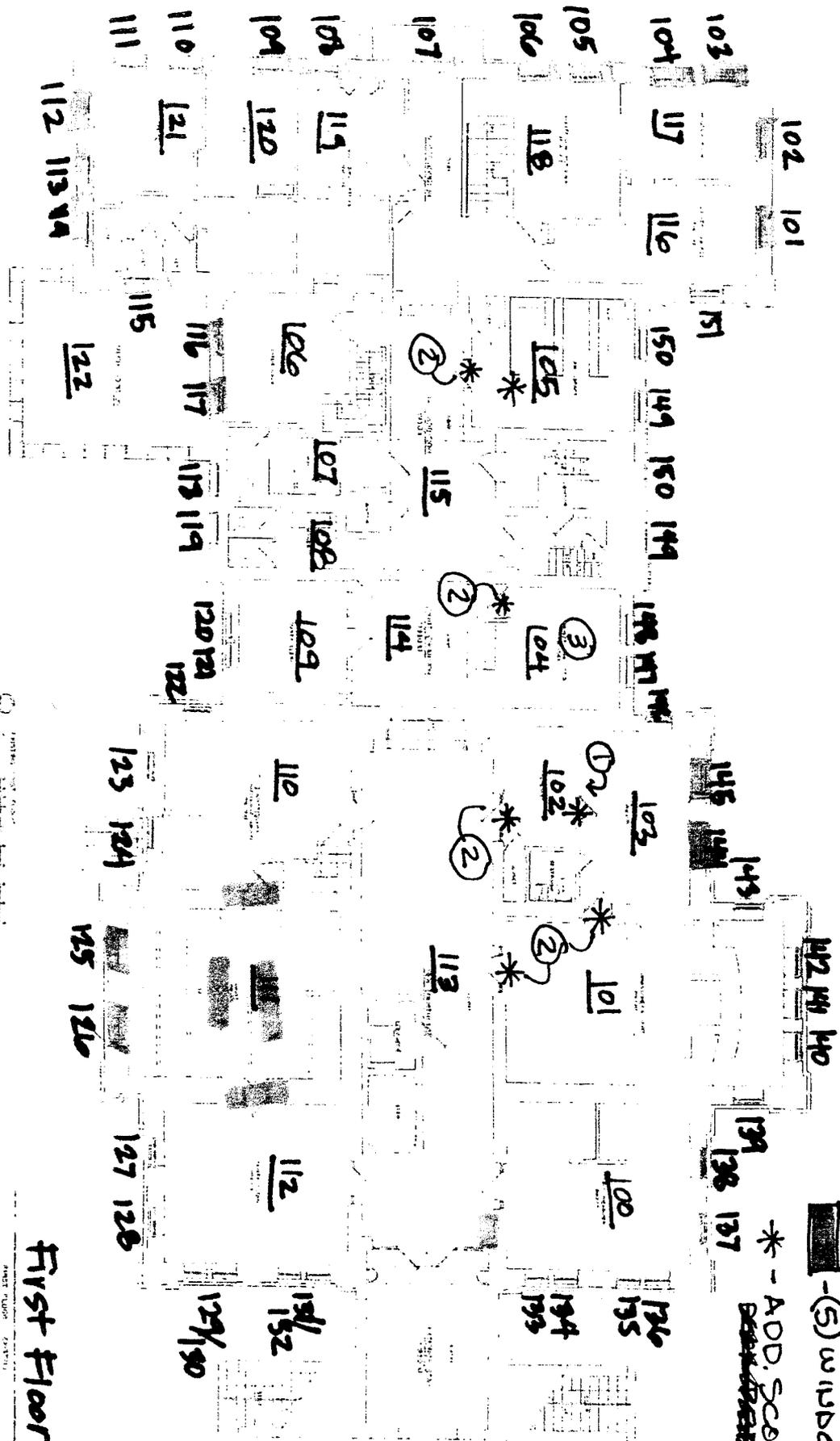
- - (1) CEILING
- ▨ - (2) VAULT CASEMENT
- ▩ - (3) EXPOSE MASONRY
- ▧ - (4) INT. STUCCO
- ▦ - (5) WINDOW PERM

Basement Plan

TYLER COUNTY COURTHOUSE

* NOTE: SPECIFIC INFORMATION REGARDING CERTAIN CONDITIONS MAY BE FOUND IN THE ROOM ASSIGNMENT LIST.

- ① PARTITION REMOVAL
- ② DOOR REPLACEMENT
- ③ REFURISH PLASTER & REMOVE SUSP CEILING



- (1) CEILING
- (2) VAULT DOOR
- (3) EXPOSED MASS
- (4) INT. PLASTER
- (5) WINDOW REPAIR

* - ADD. SCOPE
~~REPAIRS~~

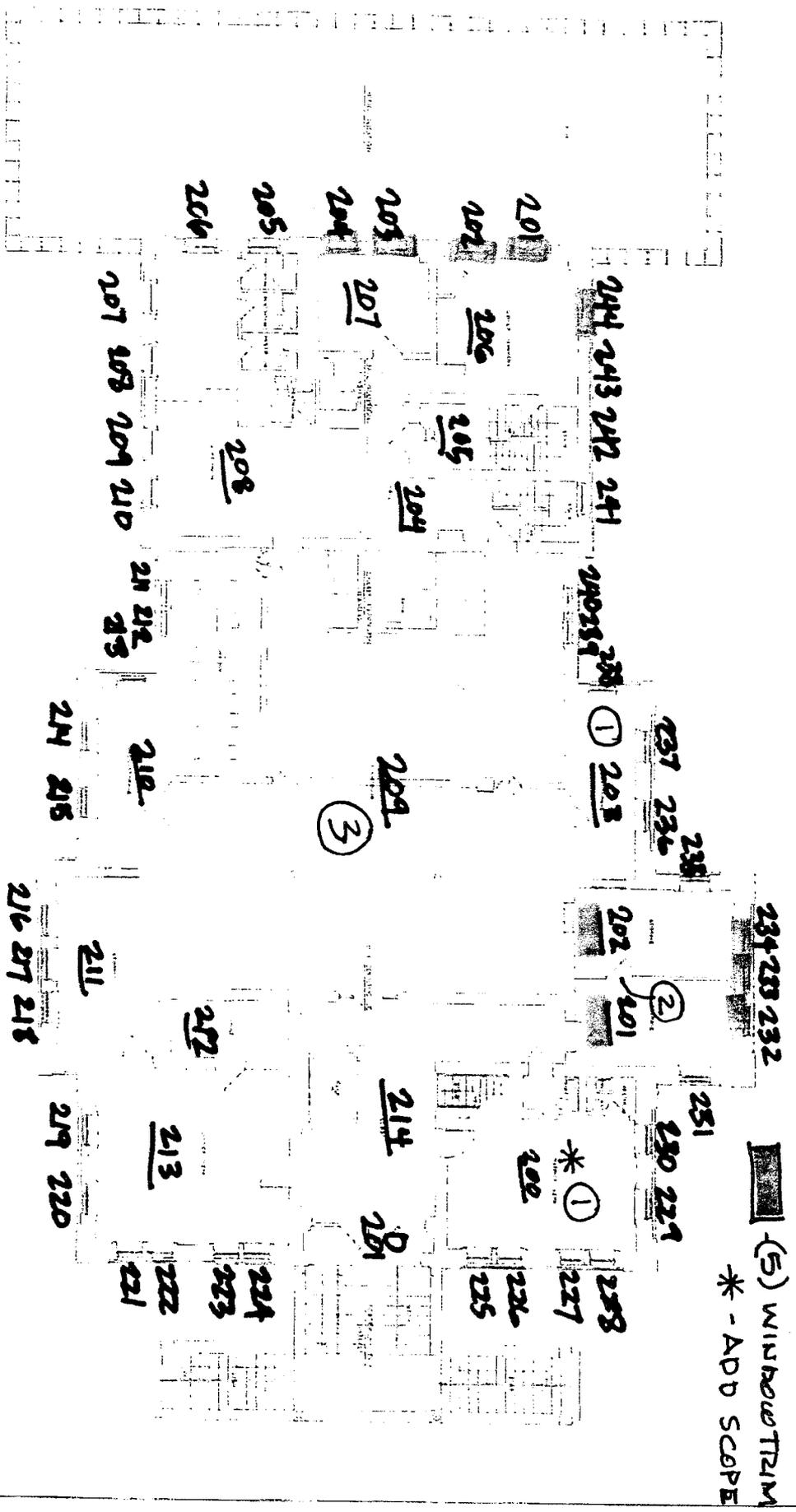
First Floor

TYLER COUNTY COURTHOUSE

NOTE: SPECIFIC DIMENSIONS REGARDING CEILING CONDITIONS ARE SHOWN IN THE ROOM DIMENSION TABLE

*

- ① CHANGE USE OF THIS ROOM
- ② DOOR OPENING
- ③ ELEC CHASE

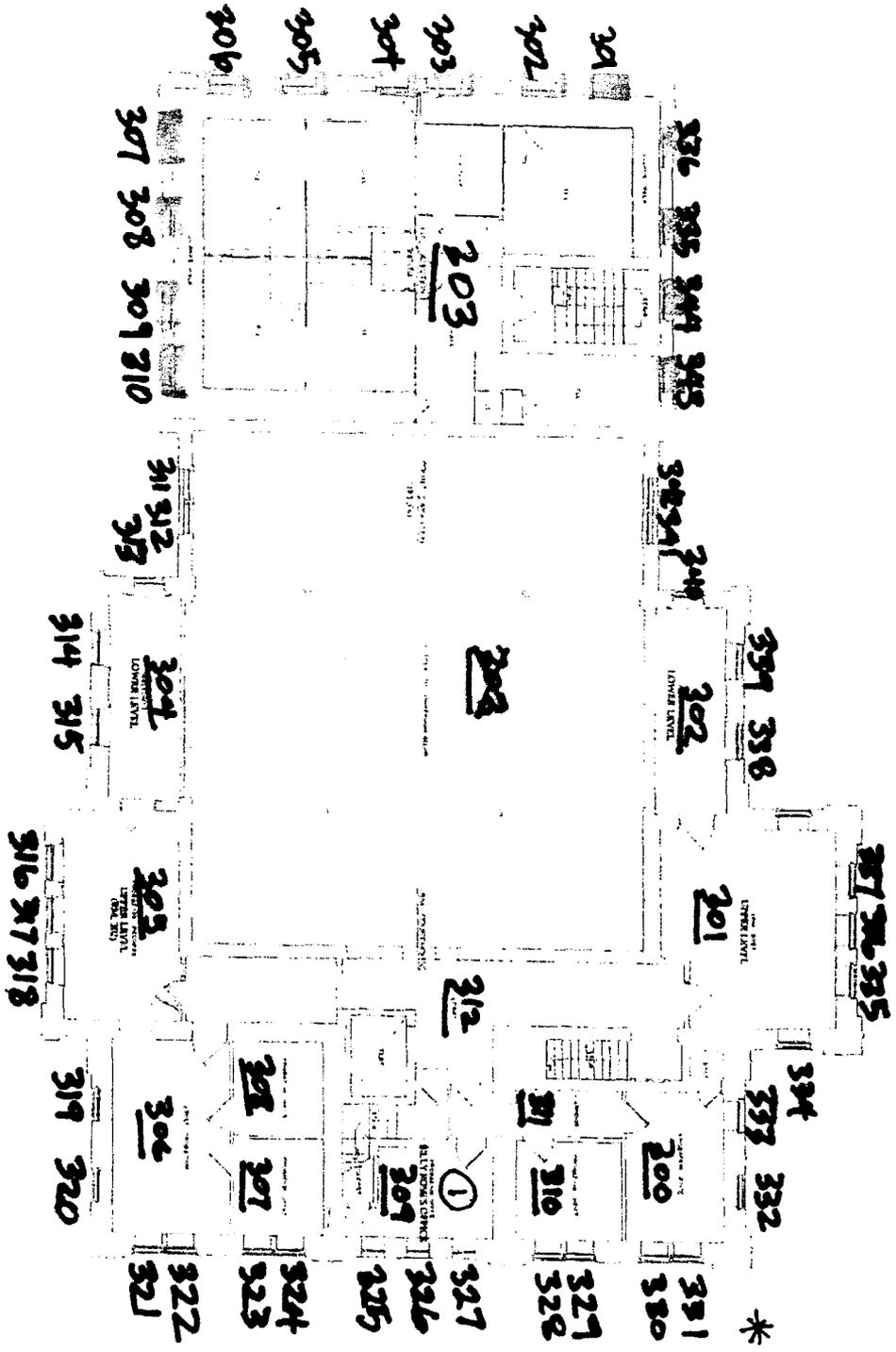


Second Floor

TYLER COUNTY COURTHOUSE

NOTES: SPECIFIC IMPROVEMENTS & EQUIPMENT IDENTIFIED SHOULD BE SHOWN IN THE WORK AND SCHEDULE DRAWINGS.

① GYP BD FIRE PROTECTION



* - ADD SCOPE

Third Floor

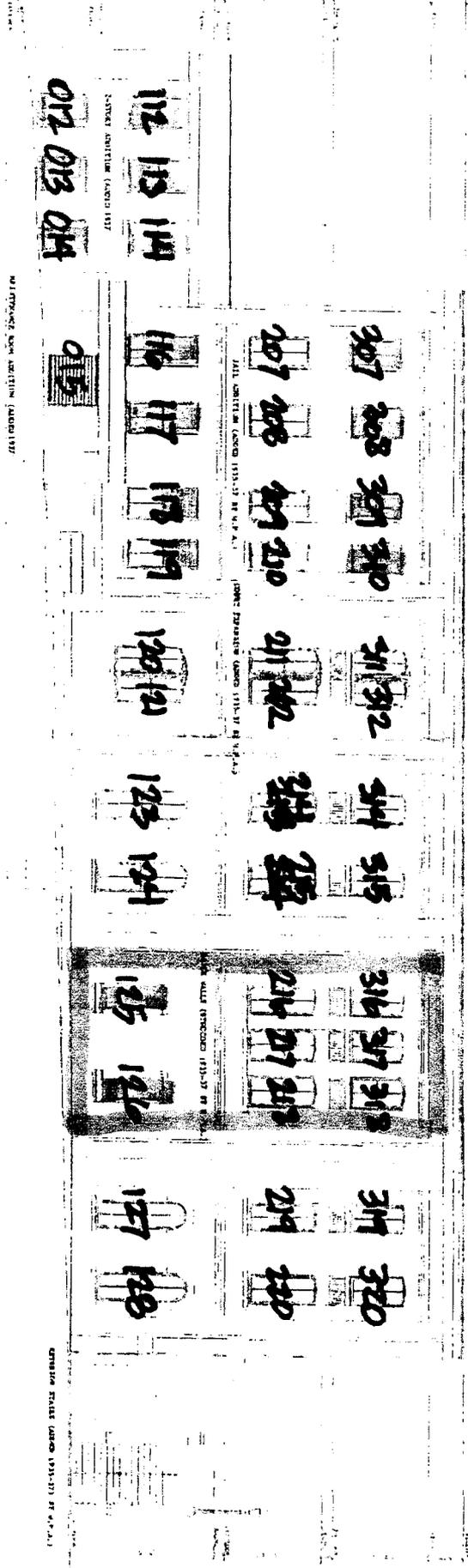
TYLER COUNTY COURTHOUSE

WITH THE FIRE DEPARTMENT ENGINEERING DIVISION AND THE BOARD OF THE
FIRE ALARM BOARD

 - (4) STUCCO REPLACEMENT
 - (5) WINDOW REPLACEMENT

DATE (FROM AND TO) DATE (FROM AND TO) DATE (FROM AND TO)

TYPE, SIZE, COLOR, QUANTITY AND OTHER (SEE PAGE 100-1) OF (P.A.)

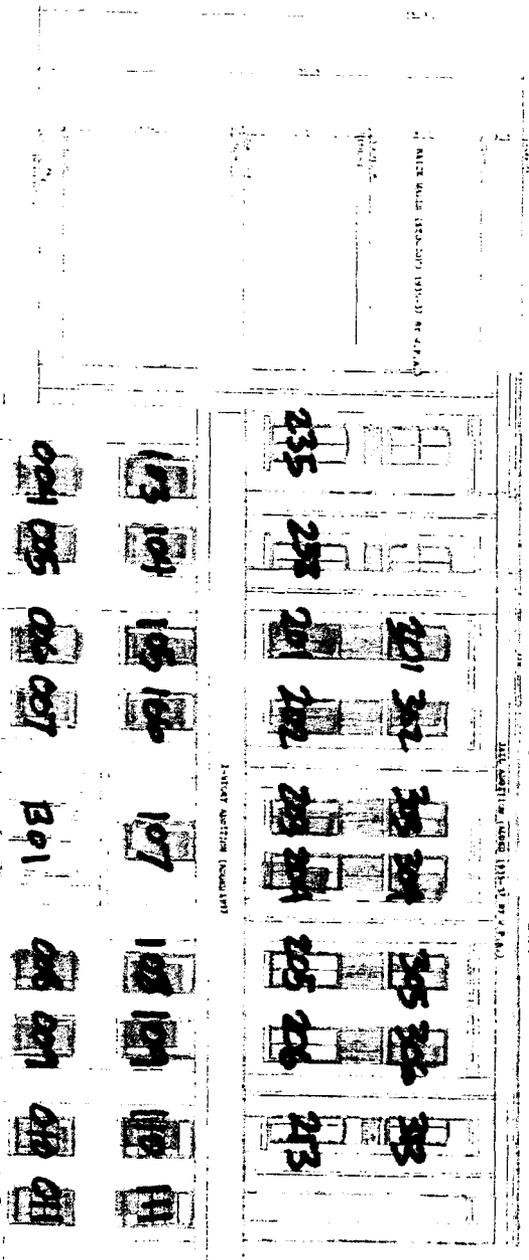


WITH SPECIFIC DETERMINATION REGARDING EXISTING CONDITIONS AND IN ACCORD WITH
 THE ASSUMPTIONS LISTED

 - (5) WINDOWS
REPLACEMENT

DATE (ADD) AND REVISIONS (DATE) (BY) (U.P.A.)

NOTE: ALL CHANGES MUST BE APPROVED BY THE ARCHITECT



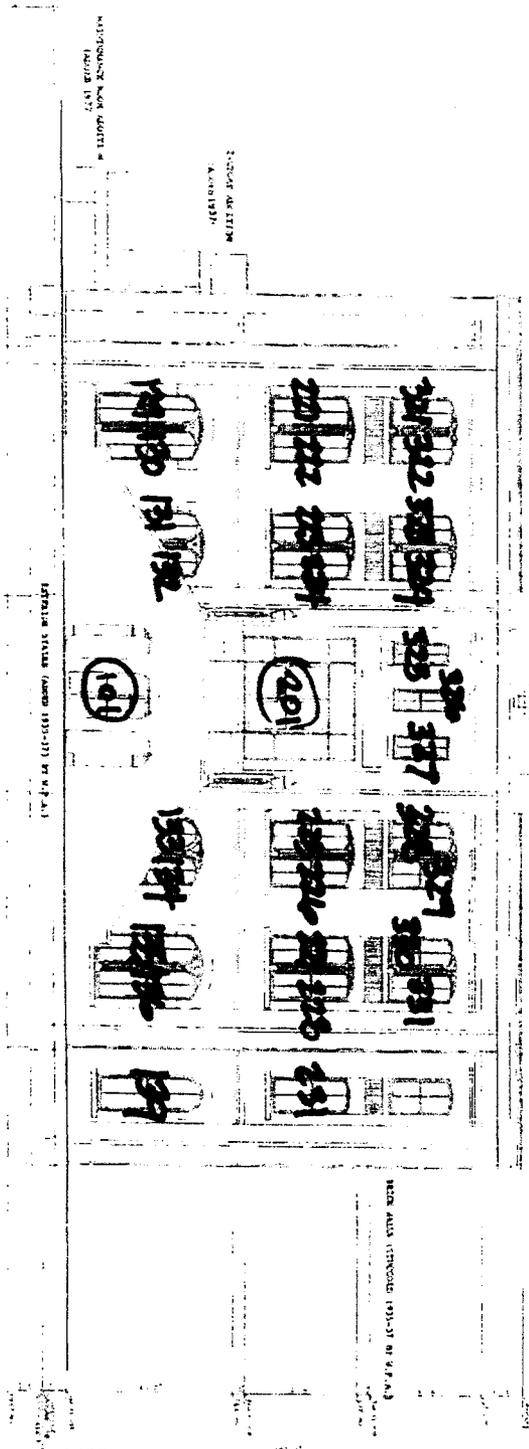
DATE (ADD) AND REVISIONS (DATE) (BY) (U.P.A.)

TYLER COUNTY COURTHOUSE

FOR THE OFFICE OF THE ATTORNEY GENERAL
STATE OF TEXAS

TYLER COUNTY COURTHOUSE

TYLER, TEXAS



1911

1911

**Request for Qualifications (RFQ) for
Courthouse Remediation Project Manager
County of Tyler**

**Response Submitted By:
Mahuya Industries, LLC
8804 Chaps Ave.
Fort Worth, Texas 76244**

**Honorable Jacques L. Blanchette
Tyler County Judge
100 W. Bluff, Rm. 105
Woodville, Texas 75979**

May 31, 2019



Table of Contents

Table of Contents	1
Transmittal Letter	2
Firm Information	4
Experience.....	5
Resume	7
Letters of Recommendation	10



May 31, 2019

Honorable Jacques L. Blanchette
Tyler County Judge
100 W. Bluff, Rm. 105
Woodville, TX 75979

Dear Judge Blanchette:

Mahuya Industries is pleased to submit this Request for Qualifications (RFQ) for Courthouse Remediation Project Manager for the County of Tyler.

We have the expertise, competence and qualifications to perform the full scope of work as described in the RFQ. We have a track record of successful project completion. As a complete project solutions provider, we strive for continuous process improvement. Our services ensure that your interests are represented, and the project is completed satisfactorily and timely.

Mahuya Industries President, Amanda Smith, has over 20 years of experience in the construction industry. She is able to create solutions that streamline operations and improve efficiency, in addition to anticipating and preventing potential problems that could interfere with timeline, budget or quality. Her legal background and experience have helped her perform contract negotiations, contractor and vendor mediations and trade agreements.

Our background includes managing projects on site on a part-time basis while the work proceeds on a full-time schedule. Amanda Smith has strong interpersonal skills and understands the importance of working collaboratively with all team members involved throughout all phases of construction. She is skilled in facilitation of communication and provides detail-oriented documentation.

Our emphasis on continuous process improvement has resulted in significant savings for previous clients. Amanda was able to save a former client over \$25,000 when the general contractor submitted a change order for ADA requirements that were included in the bid specifications and drawings. Her attention to detail, ability to research and understand contract language and construction documents ensures all projects and documents are effectively executed, properly managed and in compliance.



Mahuya Industries provides a high level of service to our clients. We focus on transitioning our client's projects and visions from concept to reality. We are familiar with the historical significance and importance of Tyler County, specifically the Tyler County Courthouse. We are committed to providing superior service and the extra attention to detail that this project will call for, given the additional stakeholders that will be included (THC, Tyler County citizens, etc.) and the unique compliance and historic requirements involved. We look forward to having the opportunity to work with Tyler County.

I will serve as the primary contact for all RFQ communications. My contact information is as follows:

Amanda Smith - President
Mahuya Industries, LLC
8804 Chaps Avenue
Fort Worth, Texas 76244

Phone: 817-917-4450
Email: amanda@mahuyaindustries.com

Thank you for the opportunity to respond to this RFQ.

Sincerely,

A handwritten signature in black ink that reads 'Amanda Smith' in a cursive style.

Amanda Smith
President



Firm Information

Located in Fort Worth, Texas, Mahuya Industries is a construction and project management firm, providing a variety of consulting services. We have over 30 years of experience in the construction industry, including work in both private and government sectors. Our firm has worked on construction projects throughout the United States and in various industries, from design through closeout.

Our team's project history includes new construction, facilities assessments, and renovations. We have managed projects from conception through completion as well as having been brought in for project rescue services. We can step in and offer remediation options and services to get the project back on schedule, budget and successful project closeout.

Amanda Smith's diverse experience has required her to be skilled in research and compliance. She understands the importance of working with project architects, engineers, crews, officials, and staff of all levels. Her past renovation projects, located in various states, have included a significant amount of research and familiarization with each location's codes and regulations. She understands the extra attention to detail necessary for a historical remediation and the vital balance between code compliance and restoration.



Experience

Project: Superbay Hangar Renovation - 105,000 sq. ft., \$2.8 Million

Location: San Francisco, CA

Capacity: Owner's Representative

Services Provided: Aviation installation, planning, scope development and management, budgeting, compliance, procurement, implementation, contract preparation and negotiation, change order review and process, submittal review, contractor request response, punchlist preparation and issuance, assistance with inspections, construction oversight and monitoring, lead weekly project meetings, document control and maintenance, preparation and submission of status and financial reports, organization and distribution of final close-out documentation.

Project: Office Space Renovation - 25,000 sq. ft., \$750,000

Location: Salt Lake City, UT

Capacity: Project Manager

Services Provided: Design planning, project scope development and management, compliance, procurement planning and implementation, contract development and negotiation, document control and maintenance, preparation and submission of status and financial reports, organization and distribution of final close-out documentation.

Project: Baggage Service Office Remodel - 1,000 sq. ft., \$250,000

Location: Orange County, California

Capacity: Owner's Representative

Services Provided: Planning, scope development and management, compliance, submittal review, change order approval and processing, procurement planning and implementation, contract drafting and negotiation, construction oversight and monitoring, lead preconstruction and weekly project meetings, document maintenance, punchlist preparation and issuance, assistance with inspections, preparation and submission of status and financial reports, organization and distribution of final close-out documentation.

Project: Space Integration, 2,500 sq. ft., \$300,000

Location: Long Beach, California

Capacity: Project Consultant

Services Provided: Preconstruction consultation and project closeout.



Project: Office Expansion and Remodel - 575 sq. ft., \$425,000

Location: Jackson Hole Wyoming

Capacity: Owner's Representative

Services Provided: Plan review, design planning, scope development and management, preparation of contract documents, bid evaluation, compliance, procurement planning and implementation, contract development and negotiation.

Project: Space Integration, 1,500 sq. ft., \$250,000

Location: Denver, Colorado

Capacity: Owner's Representative

Services Provided: Design planning, development and management, compliance, procurement planning and implementation, contract development and negotiation, document control and maintenance, preparation and submission of status and financial reports.

Project: Telecommunications Reconfiguration., \$750,000

Location: Fort Worth, Texas

Capacity: Owner's Representative

Services Provided: Research, installation, design planning, development and management, compliance, procurement, establishment of budget and financials, contract development and negotiation.

Resume of Amanda Smith

AMANDA SMITH, MBA

Fort Worth, Texas ■ Phone: 817.917.4450 ■ Email: Amanda@Mahuyaindustries.com

Successful professional motivated by challenge.

Ambitious business professional with extensive experience, education and business acumen. Adept in establishing deliverables, managing goals, reviewing timelines, and problem solving. Excellent leadership abilities and strong written and oral communication skills. Instrumental in implementing process improvements and streamlining business activities.

CORE COMPETENCIES

- | | | |
|-------------------------|---------------------------|---------------------------|
| ■ PROJECT MANAGEMENT | ■ REVENUE & PROFIT GROWTH | ■ CONTRACT ADMINISTRATION |
| ■ STRATEGIC PLANNING | ■ PROCESS IMPROVEMENT | ■ BUDGET MANAGEMENT |
| ■ CONTRACT NEGOTIATION | ■ BUSINESS DEVELOPMENT | ■ PROJECT EXECUTION |
| ■ OPERATIONS MANAGEMENT | ■ RISK MANAGEMENT | ■ CHANGE MANAGEMENT |

VALUE OFFERED

- Self-driven high performer with the ability to anticipate issues and create solutions that streamline operations, resolve concerns and improve efficiency.
- Skilled in building rapport with team members and stakeholders while effectively delegating and delivering project objectives.
- Exceptional ability to drive project and operational objectives through process analysis and continuous improvement initiatives.
- Strong organizational, analytical and communication skills with a track record of successful contract negotiations.

PROFESSIONAL EXPERIENCE AND CONTRIBUTIONS

MAHUYA INDUSTRIES, Fort Worth, Texas

2018 to PRESENT

FOUNDER AND PRESIDENT

- Established practices, templates, policies and procedures to effectively manage and build business.
- Maintained excellent leadership, communication and interpersonal skills.
- Ensured that projects proceeded and completed according to scope, schedule, budget and quality.
- Interpreted project scope and requirements from client's project objectives.

CAET PROJECT MANAGEMENT CONSULTANTS, Keller, Texas

2017 to 2018

SENIOR PROJECT MANAGER

- Worked as Owner's Representative and Project Manager for Fortune 500 airline.
- Managed all aspects of multiple projects to ensure program alignment and achievement of objectives.
- Developed and managed all aspects of the project from planning through close-out.
- Facilitated and coordinated all project meetings, site visits and project communications.

TRINITY INDUSTRIES, Dallas, Texas

2014 to 2017

TRINITYRAIL LEASING, CONTRACT ADMINISTRATOR

- Implemented contract documentation processes aligned with company and client requirements.
- Managed risk, variance and change control of contract documents and related electronic records.
- Worked with cross-functional teams on various projects and quality initiatives.
- Performed audits on documents to ensure integrity and accuracy.

AMANDA SMITH, MBA

APS JEWELRY, Fort Worth, Texas

2012 to 2014

DIRECTOR

- Established computerized design process increasing sales by 64% annually.
- Led project management responsibilities including establishing deliverables, compiling status reports, and meeting deadlines.
- Developed design studio concept to expand business offerings and increase sales.
- Prepared scope of work, project delivery resource requirements, cost estimates, budgets and schedules.

UNITED STATES DEPARTMENT OF JUSTICE, Fort Worth, Texas

2011 to 2012

UNITED STATES ATTORNEY'S OFFICE, CRIMINAL DIVISION, LEGAL ASSISTANT

- Executed case planning and tracking support, reducing backlog and increasing response times by over 5%.
- Provided case analysis to identify issues, determine needs, and ensure all parties were informed of case status.
- Collaborated with cross-organizational departments to coordinate victim-witness rights and services.
- Established case objectives and prepared documentation to obligate litigation expenses.

TEXAS MOTOR SPEEDWAY, Fort Worth, Texas

1996 to 2010

DEVELOPMENT ASSISTANT

- Generated \$82,000 annual increase in revenue by restructuring telecommunications and creating revenue stream.
- Managed all facets of project management (budget, schedule, procurement, quality and risk).
- Developed and executed strategic initiatives through negotiating trade agreements and providing budget reductions.
- Tracked progress of projects against goals, objectives, approved budgets and approved timelines.
- Administered all phases of construction projects in excess of \$20 million.

EDUCATION & TRAINING

Master of Business Administration ■ University of Texas at Dallas 3.88

Graduate Certificate, Project Management ■ University of Texas at Dallas

Bachelor of Science in Paralegal Studies ■ Texas Wesleyan University, Fort Worth, Texas 3.93

AutoCAD Certification, Levels I-III ■ CCI Training Center, Arlington, Texas

Certified Governance, Risk Management and Compliance Professional ■ OCEG

OSHA 30 Certified



Letters of Recommendation

MARK D. CHAMBERS, JR.
Municipal Court Judge, Haslet, Texas
Attorney at Law
P. O. BOX 683
ROANOKE, TX 76262

(817) 430-5120

MARK@MARKCHAMBERS.US

May 24, 2019

To Whom It May Concern:

I have known Amanda Smith for 11 years and have the highest regard for Amanda's honesty, integrity, ability, and willingness to work hard. She has shown a remarkable degree of personal initiative and is clearly self-motivated, having balanced work, advanced education, and family life. During the time I worked with her at Texas Motor Speedway, she worked tirelessly to improve procedures, streamline processes, and generally provide the best combination of diligence and competency in her work in the Operations Department.

I have no doubt that she will excel in any career, especially one involving coordinating complicated projects.

Please do not hesitate to contact me if I may be of further assistance or answer any questions.



Mark D. Chambers, Jr.
Associate Municipal Court Judge
Haslet Municipal Court



May 29, 2019

To Whom It May Concern:

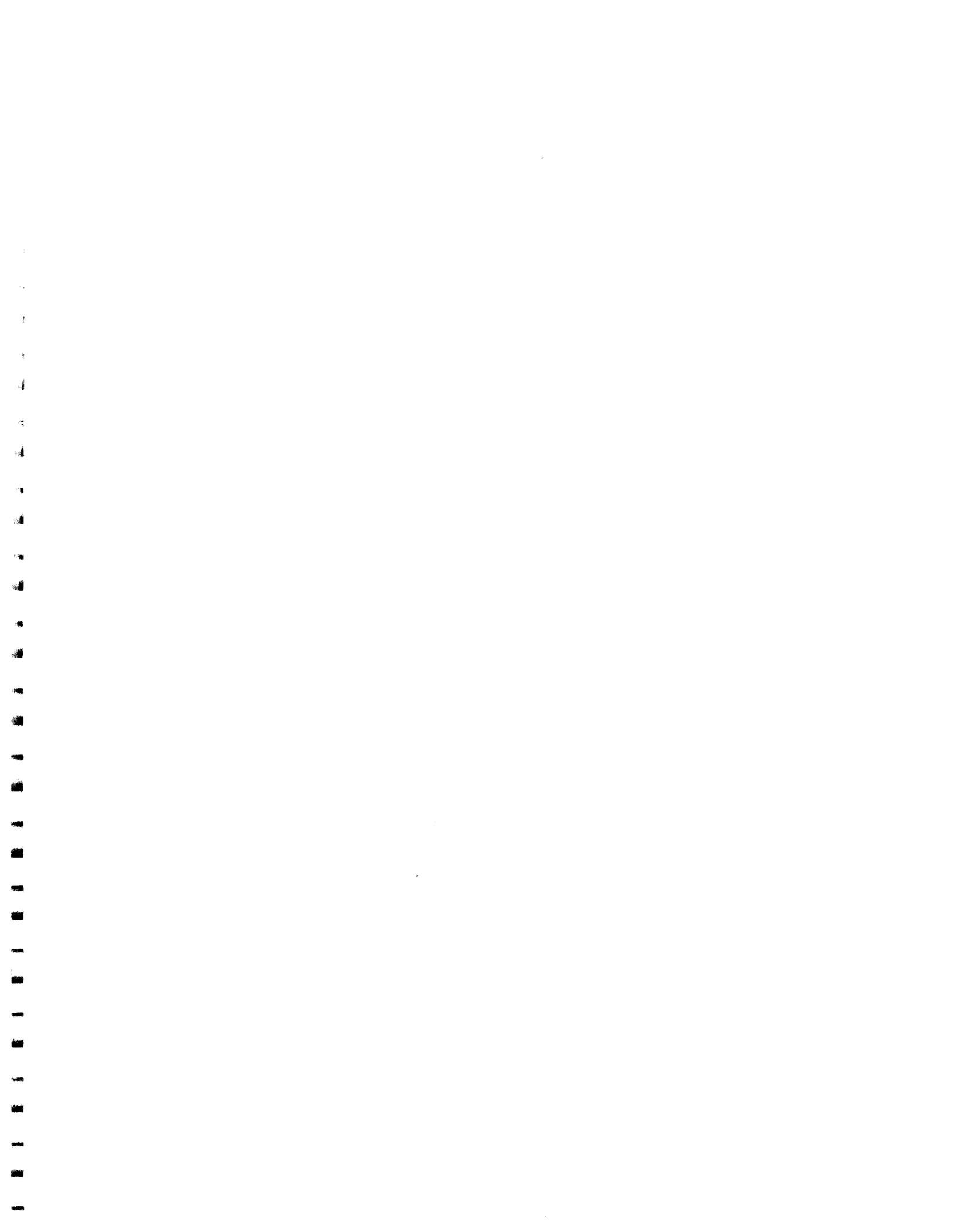
I have used Mahuya Industries Project Management services on various projects throughout the past year. Amanda Smith provides exemplary service. She is great with both written and verbal communication. She maintains detailed documentation and provides all the necessary communication in a timely manner. She is skilled at monitoring the various phases of the project while making sure that all requirements and compliance are met. Amanda has great interpersonal skills and works well with other team members and City Officials. She is always thinking ahead and finding ways to improve performance and mitigate risk. She has been able to research various areas of job specific codes for me and communicate the project needs to me. She has also created a variety of custom reports for my business.

I highly recommend Amanda Smith and Mahuya Industries to perform in any Project Management capacity.

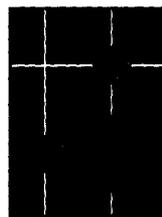
Please feel free to reach out to me if you have any additional questions.

Regards,

Juan Valles, President



REMEDICATION OF
TYLER COUNTY
COURTHOUSE
WOODVILLE, TEXAS



The LaBiche
ARCHITECTURAL GROUP, INC.

LETTER OF INTEREST

The LaBiche Architectural Group, Inc. | 7999 Gladys Ave | Suite 103 | Beaumont, Texas 77706 | 409.860.0197

Honorable Jaques L. Blanchette

Tyler County Judge

100 W. Bluff Street

Room 105

Woodville, Texas 75979

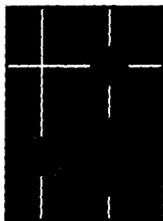
The LaBiche Architectural Group, Inc. has reviewed the outlined requirements for the Remediation of the Tyler County Courthouse, and respectfully accepts your invitation to submit our Qualifications Statement.

The LaBiche Architectural Group is confident it is qualified to provide our Historical Remediation services to Tyler County as we are dedicated to providing the highest level of Historical Remediation and Architectural Design services in the industry. Our firm has worked with communities and municipalities around Southeast Texas for nearly 20 years, gaining experience building and renovating communities to enhance civic life.

Please call me at my office if I can answer any questions you may have about our firm. We look forward to hearing from you and hope that we can assist you in completing a successful project.

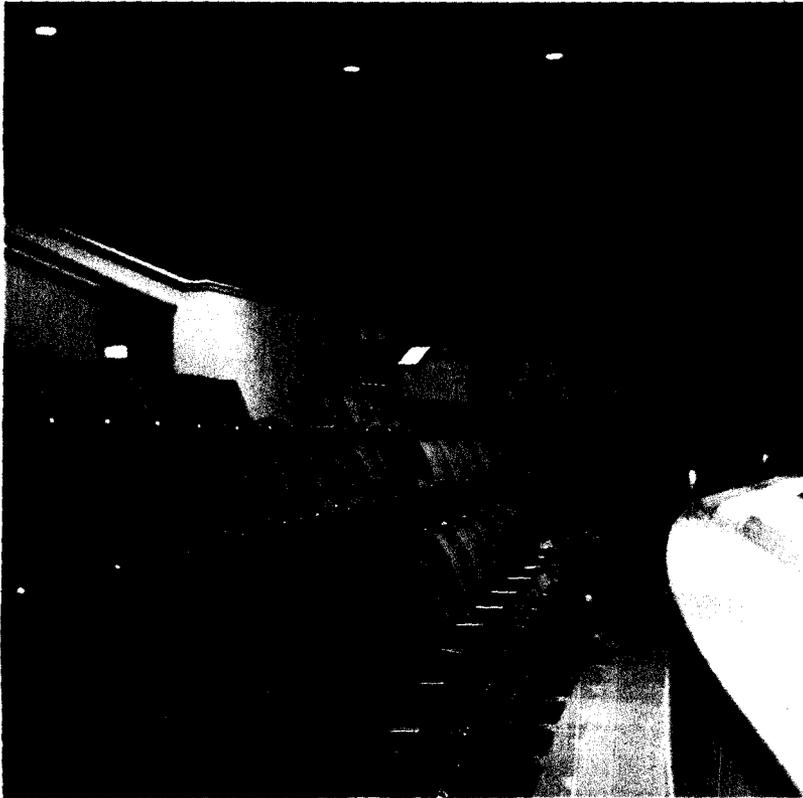


Dohn H. LaBiche, FAIA - Principal
dlabiche@labiche.com



The LaBiche
ARCHITECTURAL GROUP, INC

TABLE OF CONTENTS



Interior of Julie Rogers Theatre - Beaumont, TX

Lalston Architectural Group

TABLE OF CONTENTS

- 01 The Firm
 - Principal Business
- 02 The Team
 - Officers of the Firm
 - Professionals
- 03 The Experience
 - Clients & Projects
 - Challenges
 - References
- 04 Insurance

| THE FIRM

THE FIRM

FUNCTION ENHANCEMENT:

This means that incorporation of all the features that will enhance the beneficial use of the facility whether that be the production of a physical good, the treatment of a disease, or simply the enjoyment of life.

ENVIRONMENTAL SECURITY:

The creation of surroundings in which the occupant and user can be free from physical danger and harm, and are encouraged to relate with each other in a manner that promotes their individual development.

RESOURCE CONSERVATION:

The selection of systems and materials calculated to conserve natural resources and the client's resources and energies.

The LaBiche Architectural Group, Inc.
7999 Gladys Ave, Suite 101
Beaumont, Texas 77706

"S" Corporation

PRINCIPALS

Dohn H. LaBiche, FAIA
Greg Wall, AIA

PRIMARY CONTACT

Dohn H. LaBiche, FAIA
dlabiche@labiche.com

OUR HISTORY

The LaBiche Architectural Group, Inc. is a continuation of Steinman & Associates, founded in 1901 by Frederick William Steinman. Located in Beaumont, Texas. Mr. Steinman's grandson, Douglas E. Steinman, Jr., continued the firm until 2000 when Dohn H. LaBiche, FAIA purchased the firm after working with Douglas for 14 years.

Through the years the predecessor firms designed many of Beaumont's landmarks including City Hall, the Edson Hotel, the old First Methodist Church, and the City Library. The firm's expertise in design of landmark buildings continues the excellence in architecture started over 115 years ago.

The LaBiche Architectural Group has concentrated its management efforts on making the existing firm more efficient and responsive to the client's needs and has provided personalized service that has made it successful for nearly twenty years. Our staff has the ability to interpret the needs and desires of multi-disciplined clients across Southeast Texas.

Our firm has served various institutions since its inception in 2000. The primary focus of our firm's work has been with Municipalities, Historical Restorations and Independent School Districts across Southeast Texas. We believe that our wide range in architectural projects to be advantageous since most projects contain more than one specific user group.

PRINCIPLE BUSINESS

The LaBiche Architectural Group and team of consultants have been involved with municipal and commercial office architecture with local municipalities, counties and city governments for many years. We have completed both new and renovation projects such as the Port of Beaumont office buildings including a \$6 million office for the Army Command, Nederland City Hall, City of Nederland offices for Police and Fire Departments, offices for local petrochemical companies, roofing and administrative facilities.

Our most recent project involved the design of The City of Pasadena's Municipal Courts Building, which is now under construction. The design incorporates 1 large courtroom, 1 small courtroom and jury box, and a Jury Selection room that can be easily transformed into a courtroom for overflow days. The large courtroom seats 160 people while the smaller will seat 60 people and the Jury Selection room will seat 120 people. Offices for the judge, associate judges, and prosecutor along with their support staff are located in close proximity to the courtrooms. 4 clerks stations, a clerks bullpen with 20 workstations and rolling file storage, an attorney clerk's office, a juvenile case managers office, and 4 collection booths round out the administrative side of the building.

In 1995, Dohn H. LaBiche, FAIA, our principal, was awarded his first historical restoration job for roof replacement on the Jefferson County Courthouse. Since that time through our own efforts and in collaboration with historic preservation expert, Gerald Moorhead, FAIA, we have served as architects on six properties listed on the National Historic Register and the Texas Historical Register.

Our preservation expert has written two books on Texas historical buildings. He has also worked on several courthouse projects throughout the state of Texas and is currently working with us on the Restoration/Remediation of the Orange County Courthouse.

The firm has worked on preservation projects beyond Courthouses and is in the process of restoring the 1906 Woodworth House also known as Rose Hill Manor for the City of Port Arthur along with the 1903 30th Street Water & Electric Light Building for the City of Galveston.

Our most recently completed project is the renovation/remediation of Jefferson County Water Control and Improvement District 10. In this renovation caused by damages sustained by Hurricane Harvey, improvements were made to the existing floor plans along with renovations to office spaces including all new flooring, interior fixtures and new office furniture.

In addition, our work on restoration of historical buildings throughout the Jefferson County includes governmental, commercial and residential facilities all of which were identified and construction overseen by the Texas Historical Commission.

Another specialty of the firm is roof consulting and design. We were hired to oversee the roofing work included in both the Port Neches/Groves ISD and Beaumont ISD Bond Programs. The combined costs of those two programs exceeded \$12 million.

www.la-biche.com

LaBiche Architectural Group

Exterior of Julie Rogers Theatre - Beaumont, TX



PROFESSIONAL SERVICES:

PRE-DESIGN & PLANNING SERVICES

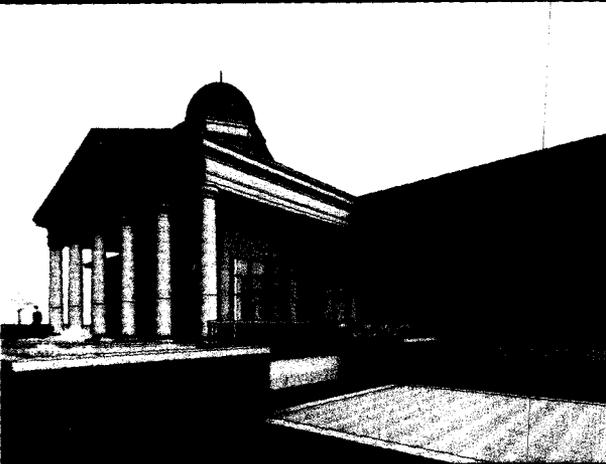
- Programming
- Project Budgeting and Financing
- Economic Feasibility Studies
- Project Development Scheduling
- Existing Facilities Surveys
- Site Analysis and Selection
- Zoning Processing Assistance
- Master Planning

SUPPLEMENTAL SERVICES

- Regulatory Agency Approvals
- Interior Design and Furnishings
- Presentation and Marketing Materials
- Life Cycle Cost Analysis
- Record Drawings
- Construction Supervision

ARCHITECTURAL SERVICES

- Conceptual Design
- Design Development
- Contract Documents
- Bidding
- Contract Administration



City of Pasadena Municipal Courts Building

OUR METHODOLOGY

Central to our methodology is an integrated project delivery approach involving effective collaboration among owners/clients and the entire team starting at early design and continuing through to project handover. We recognize the importance that the entire project team understands the goals from the outset and has the collective knowledge and expertise of all parties will improve overall decision making, especially during the early stages. Our pre-planning activities and the ways in which we approach and monitor project progress through milestones and benchmark performance help contribute to our ability to maintain schedules and complete projects within budget.

We are sensitive to the nuances of place and precedent, giving consideration to each project's cultural, historical, and physical environment while keeping in mind the overarching tenet of making each client's vision a reality within available resources. The firm understands each project that is put in our care has a sense of place that we, as a team with you, will honor and respect.

We excel at gaining consensus among participants. We know how to implement public participation processes, providing opportunities for stake holders to participate, eliciting their input/feedback, synthesizing it, and incorporating it into design concepts, leading to well-designed spaces that contribute to an area's civic life for years to come.

Understanding the complex requirements of the adopted Building Codes and Texas Accessibility Standards is an important part of the design process that The LaBiche Architectural Group adheres to very closely. A thorough code analysis is conducted early in the design process and again as the plan develops. Meetings with local code officials and fire marshals are conducted to insure compliance is being maintained.

Our work on city and county projects has taught us valuable lessons in connecting and working with building users and area residents to create public places that build communities and serve as sources of civic pride.

SCHEMATIC DESIGN

- Review of program with Client
- Preliminary design concepts
- Landscape consultant input
- Presentation of design concepts to Owner
- Owner review and input
- Schematic design finalized

DESIGN DEVELOPMENT

- Preliminary design of building systems with consulting engineers
- Presentation of design development to Owner
- Review of project cost estimate with Owner
- Owner review and input
- Design finalized

CONSTRUCTION DOCUMENTS

- Working drawings and specifications production
- Owner review

BIDDING & NEGOTIATIONS

- Competitive bidding
- Bid evaluation
- Contract awarded

CONSTRUCTION

- Construction begins with on-site construction observation
- Substantial completion
- Owner occupancy
- One-year building review by Architect

| THE TEAM

THE TEAM

Dohn H. LaBiche, FAIA

OFFICERS OF THE FIRM:

Dohn H. LaBiche, FAIA - Principal
d@labiche.com

Greg Wall, AIA - Principal
gwall@labiche.com

Coley Mulcahy, Associate Architect
cmulcahy@labiche.com

7999 Gladys Avenue, Suite 101
Beaumont, Texas 77706
409.860.0197

**see attached resumes

www.labiche.com

LaBiche Architectural Group



DOHN H. LaBICHE, FAIA

PRINCIPAL

Registered Architect
Texas / 1986
NCARB / 1986

www.labiche.com

AWARDS AND ACTIVITIES:

- Vice Chairman, Beaumont Historical Landmark Commission
- Member, Port Arthur Historical Landmark Commission
- Elected to AIA College of Fellows 2011
- Greater Beaumont Chamber of Commerce, Small Businessman of the Year 2011
- Member of the Texas Society of Architects 1983- Present
- Member of the American Institute of Architects 1983- Present
- Chapter Director, Southeast Texas Chapter, AIA, 1987-1989
- President, Southeast Texas Chapter, AIA 1993, 2003
- Chairman of Design Committee, BUILD, INC., Beaumont Downtown Development, 1986-1987
- Chairman, Salvation Army Advisory Board, Beaumont, Texas, 1991-2003
- Member of Young Men's Business League 1983- 2006
- Board of Directors, YMBL, 1993, 2002, 2003, 2005, 2006
- Commissioner, City of Beaumont Planning Commission, 1996-2005
- Board of Adjustment, City of Beaumont, 1996-2002
- Texas Society of Architects, Texas Architects Committee Exec. Trustee, 2000-06
- Texas Society of Architects Texas Architects Committee, Exec. Trustee Chairman, 2001-04
- Board member: Texas State Fire Museum 2000-03
- Board Member: Jefferson Theater Preservation Society
- Recipient of Hero of Architecture Award Texas Society of Architects, 2004

EXPERIENCE:

Dohn LaBiche, FAIA serves as president, marketing representative and project manager for the firm's diverse work in housing, municipal, state, medical, and institutional projects. Dohn serves on many civic building committees, advising boards.

Dohn is active in the Texas Society of Architects where he served as a past chairman of the Texas Architect's Committee (PAC), TSA board secretary, and TSA vice president. He was also recognized as a "Hero of Architecture" by the Society in 2004. In 2011, Dohn was elected to the American Institute of Architects, College of Fellows and honor bestowed to less than one percent of the AIA's membership. He is only the third architect from Southeast Texas so honored. Dohn also served two terms as president of AIA Southeast Texas.

Prior to starting the firm, Dohn was employed by Lamar University where he was involved in numerous renovation projects and assisted in the interior design of the University's Montagne Center. Upon leaving the university, he was employed by Douglas E. Steinman, Jr., FAIA from 1986 - 1999, before beginning the firm in 2000.

EDUCATION:

McNeese State University:
Associate Degree in Architecture - 1979

Louisiana State University:
Bachelor of Architecture - 1983





GREG WALL, AIA

Registered Architect
Texas / 1998

AWARDS AND ACTIVITIES:

- Member, Southeast Texas Chapter AIA
- Member, American Institute of Architects
- Member, University of Houston Alumni Organization
- Member of Young Men's Business League
- Newsletter Editor, Southeast Texas Chapter AIA, 1991-1995
- Member, Texas Society of Architects
- Committee Member, Downtown Housing Committee, Beaumont Main Street, 1994-1996
- Board Member, Design Committee, Habitat for Humanity, 1996-1997
- Secretary/Treasurer, Southeast Texas Chapter, AIA, 1999
- Texas Society of Architects, Chapter Director, 2002-05
- President, Southeast Texas Chapter, AIA, 2000, 2001, 2010, 2014, -2016
- Board Member, Construction Board of Adjustment & Appeals, City of Beaumont, 2003-2004, 2005-2008, 2009-2011, 2012 - 2018
- Board of Directors, Young Men's Business League, 2004, 2006, 2008, 2010, 2011 - 2014, 2016 - 2019
- Member, YMBL Key Men, 2015 Key Men President
- Committee Member, Boy Scouts of America, Troop 177, 2004-2008
- Scout Master, Boy Scouts of America, Troop 177, 2008 - 2011
- K-1st Sunday School Teacher, Trinity United Methodist Church 2008-2013

EXPERIENCE:

Greg Wall has been an associate with the predecessor firm since 1990 and is a partner with The LaBiche Architectural Group. He has served as project architect for many projects for both firms and has been involved in all phases of design and construction. He is very involved in building code analysis and compliance as well as conformance with the Texas Accessibility Standards for all projects. Greg has served on various civic committees including Habitat for Humanity and has been very active in the Boy Scouts of America.

Greg is active in the local Texas Society of Architects chapter where he has served as Chapter President for four different terms. He also has served on the YMBL Board of Directors for 11 years and has served on various committees and assignments for the South Texas State Fair for 20 years.

LaBiche Architectural Group

EDUCATION:

University of Houston:
Bachelor of Architecture - 1990



COLEY MULCAHY, ASSOCIATE AIA

AWARDS AND ACTIVITIES:

Associate Member
American Institute of
Architects
Associate Member
Texas Society of
Architects
Earth Team
N.C.A.R.B

PUBLICATIONS:

"ARCHITECTURE IN THE U.S."
#15-100 FT. Birding Tower
"METROPOLIS MAGAZINE"
100 FT. Birding Tower - Feb. 2007
"ARCHITECT MAGAZINE"
100 FT. Birding Tower - Nov. 2007

EXPERIENCE:

Coley Mulcahy joined the firm in May 2011 as an intern. He is currently an assistant designer and draftsman working on several projects, including medical, housing, commercial and religious projects.

Coley is responsible for field verification and general drafting associated with schematic design and construction documents. He also assists project managers with programming, space planning, and construction detailing.

EDUCATION:

Auburn University: Bachelor of Architecture - 2005

Our team of consultants are a culmination of what we feel are the most qualified consultants available for the size and scope of this project. We have worked together for many years on various projects across Southeast Texas.

Gerald Moorhead, FAIA

Historical Consultant
Houston, Texas

REGISTRATION

Architect: Texas
NCARB Certificate
LEED Accredited Professional

Hollon + Cannon

Roofing Consultants
Austin, Texas
Mel Hollon, Associate AIA

Source Historical Services

Finishing Consultants
Galveston, Texas
Jhonny Langer

**see attached resumes

GERALD MOORHEAD * FAIA * ARCHITECT

Gerald Moorhead, an Architect in Houston, Texas, is recognized in professional circles for excellence in architecture, architectural writing, and photography. He has been active as juror, curator, editor, and critic. Mr. Moorhead has nearly 50 years of comprehensive architectural experience in the management, programming, planning, design, production, and construction administration of residential, commercial, institutional, historic restoration, liturgical, and urban design projects. His architectural work has received numerous design awards and has been published in national and international journals. Widely known for his documentary photography, Mr. Moorhead's photos have appeared in many exhibitions and reside in university, private, and corporate collections. Four decades of his photography of Houston architecture now resides at the Metropolitan Research Center, Houston Public Library and the archives for the books *Buildings of Texas* are collected in the Alexander Archives at the University of Texas at Austin. He is the editor/photographer of the three editions of the *Houston Architectural Guide* and the author/photographer of the two-volume *Buildings of Texas*. Mr. Moorhead is a Fellow of the American Institute of Architects and is the Architect Laureate of Kazakhstan.

REGISTRATION

Architect: Texas
NCARB Certificate
LEED Accredited Professional

EDUCATION

Rice University: B.A., Architecture & Fine Art, 1969
William Marsh Rice Scholarship, 1965-71
Baker College Cabinet, 1967-68
Baker College Bike Team, Captain 1966-68
Beer-Bike Race Chairman, 1968
Graphics Editor, "The Rice Engineer", 1968-71
Varsity Rifle Team, lettered 1966-67, 67-68
Preceptorship in Architecture, 1969-70, CRS
Programming Studio under Willie Peña
Design Studio under Paul Kennon
Rice University: B.Arch., 1971

PROFESSIONAL EXPERIENCE

Gerald Moorhead, Consultant/Writer/Photographer (2014-)
Ray Bailey Architects, Inc. (1998-2013)
Associate Principal, Designer/Project Architect/Preservationist
Gerald Moorhead * FAIA * Architect (1983-98)
Proprietorship in architecture, planning, interior design
Reid/Fehn Architects (1990-1)
Senior Associate, Project Architect
Lloyd Jones Fillpot Associates (1986-87)
Design Associate for architecture and interior design
Charles Tapley Associates, Inc. (1973-83)
Partner: Project Architect for all aspects of practice
Phillips & Peterson AIA (1969-73)
Designer: planning, design, and construction documents
Kenneth F. Parry Associates (1972)
Designer: planning, design, and construction documents
CRS Design, Inc. (1969-70)
Preceptorship in Programming, Planning, and Design studios
M.A.Floyd Associates (1968)
Draftsman: design and construction documents
Middleton & Statton (1967)
Draftsman: design and construction documents

PROFESSIONAL ACTIVITIES

American Institute of Architects (1977-present)

Committee on Design (1986-)

Hon FAIA Sponsor: 1994, Juha Leiviska, Finland

Hon FAIA Sponsor: 1996, Raili Pietila, Finland

Hon FAIA Sponsor: 1996, Kurt Ackermann, Germany

Hon FAIA Sponsor: 1997, Helmut Schultiz, Germany

Hon FAIA Sponsor: 1998, Detlef Schreiber, Germany

Hon FAIA Sponsor: 2000, Timo Suomalainen, Finland

Historic Resources Committee

Fellow (1991)

Fellow Emeritus (2014)

Houston Chapter AIA (1977-present)

Liturgical Architecture Committee, Co-Chairman (1983-92)

Guidebook 1990 Committee, Photographer (1988-90)

Design Committee (1990-)

Urban Design Committee

Historic Resources Committee (2010-)

Main Street Planning Charrette, Publication & Exhibition (1991)

Midtown Task Force (1992)

Downtown Houston Planning Team, Writer (1994-95)

Guidebook 1999 Committee, Chair/Editor/Photographer

Committee for HAIA 75th Anniversary (1998-9)

Honors and Awards Committee, Chairman (2002)

Exhibit Curator (see Exhibits below)

Editor/Photographer, *Houston Architecture Guide*. 1990, 1999, 2012

Texas Society of Architects (1977-present)

Publications Committee (1983-87)

Contributing Editor, TEXAS ARCHITECT Journal (1987-2011)

Design Committee (1991)

Society of Architectural Historians

Author & Photographer, *Buildings of Texas, Buildings of the United States* (2000-)

Regional Correspondent, ARCHITECTURAL RECORD (1990-96)

Contributing Editor, ARCHITECTURAL RECORD (1997-98)

Contributor, PROGRESSIVE ARCHITECTURE, ARCHITECTURE, CITE, DESIGN IN FINLAND, FOR PRESERVATION, ARCHITEKTUR & BAUFORUM

Juror: Dimension/Brooks Design Excellence Program, Dallas, 1986

Juror: Street of Dreams, Clear Lake City TX, 1989

Juror: El Paso Chapter AIA Design Awards, 1989

Juror: Greater Houston Preservation Alliance, Good Brick Awards, 1996, 1997

Juror: San Antonio Conservation Society, Preservation Awards, 2008

Juror: Washington DC AIA Preservations Awards, 2008

Curator: See Architectural Exhibitions, Photographic Exhibitions

Lecturer: "Sacred Spaces," Houston Chapter AIA, Sept.-Dec. 1990

Lecturer: "The Classical Tradition in Architecture," Classical Association of Houston, 16 March 1991

Panelist: "Influence of the Professional Media," TSA Convention, Dallas TX, 3 Nov. 95

Panelist: "The Best Places in Texas," TSA Convention, Dallas TX, 3 Nov. 2001

Panelist: "Texas Courthouses," TSA Convention, Houston TX, Oct. 2004.

Panelist: Getting the Most for Your Photography Budget," TSA Convention, San Antonio TX, Sept. 2005.

Lecturer: "Buildings of Texas," AIA Austin, Jul 2013.

Lecturer: "Buildings of Texas," Heritage Society, Houston, Aug 2013.

Lecturer: "Buildings of Texas," AIA Houston, Sep 2013.

GERALD MOORHEAD * FAIA * ARCHITECT

Lecturer: "Buildings of Texas," McFaddin-Ward House, Beaumont, Sep 2013.
Lecturer: "Buildings of Texas," Festival Hill at Round Top, Sep 2013.
Lecturer: "Buildings of Texas," LRGV Building Communities Conference, Padre Island, Sep 2013.
Lecturer: "Buildings of Texas," Preservation Houston, Nov 2013.
Lecturer: University of Houston College of Architecture, BoT Presentation, Jan 2014
Lecturer: University of Houston Clear Lake, BoT Presentation, Mar 2014
Lecturer: AIA Dallas, BoT Presentation, Apr 2014 2014

ACADEMIC

Guest Lecturer, Prairie View A&M School of Architecture (2007, 2012)
Guest Lecturer, Rice University School of Architecture, Fall 2012, Seminar in Historic Preservation
Lecturer: "Buildings of Texas," University of Houston College of Architecture, 21 Jan 2014.
Lecturer: "Texas Architecture Since 1945." University of Houston College of Architecture, 23 Jan 2014.
Lecturer: University of Houston College of Architecture, Texas Architecture – 1950 - Present
Lecturer: Texas A&M University, Lecture, Preservation Conference, Preservation in Practice, Mar 2014
Session Chair: SAH Annual Conference, The World Comes to Texas, Apr 2014

CIVIC ACTIVITIES

Rice Design Alliance
Editorial Board, CITE Magazine (1988-90, 1993-95)
Houston Center for Photography
Advisory Board (1984-90)
Treasurer (1985-87)
Greater Houston Preservation Alliance
Endangered Buildings Committee, Co-Chairman (1992-3)
Juror: GHPA Good Brick Awards, 1996, 1997
Neartown Association
Task Force for Chapter 42 (1997-98)
Houston Habitat for Humanity
Architecture Committee, Chairman (1996-99)

AWARDS and HONORS

Young Architect Award, Houston Chapter AIA - 1985
Fellowship, American Institute of Architects - 1991
Architect Laureate of Kazakhstan, Union of Architects of Kazakhstan - 1992
President's Citation, Houston Chapter AIA - 1992
John G. Flowers Award for Media Excellence, Texas Society of Architects - 1995
President's Citation, Houston Chapter AIA - 1996
Chapter Citation, Houston Chapter AIA - 1999
Texas Society of Architects, HERO of Architecture - 2004
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GERALD MOORHEAD * FAIA * ARCHITECT

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"Houstonians Rally to Preserve Theaters," TEXAS ARCHITECT, vol. 56, no. 5 (Sep/Oct 2006), pg. 15.
"Update: Threatened Houston Theaters," TEXAS ARCHITECT, vol. 56, no. 6 (Nov/Dec 2006), pg. 14.
"Rescue in the Park," TEXAS ARCHITECT, vol. 57, no. 2 (Mar/Apr 2007), pg. 44-47.
"Standing Tall in Beaumont...", TEXAS ARCHITECT, vol. 58, no. 5 (Sep/Oct 2008), pg 18.
"Offbeat and Off the Grid," TEXAS ARCHITECT, vol. 58, no. 6 (Nov/Dec 2008), pg. 80.
"50 Issues and Counting," TEXAS ARCHITECT, vol. 58, no. 6 (Nov/Dec 2008), pg. 4.
"Stamp of Approval," TEXAS ARCHITECT, vol. 59, no. 5 (Sep/Oct 2009), pg. 124.
"Wright-Influenced NASA Landmark Redone as Offices for Houston Parks," TEXAS ARCHITECT, vol. 60, no. 2 (Mar/Apr 2010), pg. 16.
"New Expansion of Ideson Library Follows Cram's Original Scheme," TEXAS ARCHITECT, vol. 60, no. 4 (Jul/Aug 2010), pg. 12, 62.
"Principled Gestures," TEXAS ARCHITECT, vol. 61, no. 1 (Jan/Feb 2011), pg. 50-55.
"Queen of the Gulf," TEXAS ARCHITECT, vol. 61, no. 3 (May/June 2011), pg. 30-31.
"Manner Of Approach," TEXAS ARCHITECT, vol. 61, no. 4 (Jul/Aug 2011), pg. 22-27.
"Johnson Renewed," TEXAS ARCHITECT, vol. 63, no. 3 (May/June 2013), pg. 54-59.
"Buildings of Texas," Reviewed by Catherine Gavin. TEXAS ARCHITECT, vol. 63, no. 3 (May/June 2013), pg. 18.
"Renovation of 714 Main Street," TEXAS ARCHITECT, vol. 63, No. 5 (Sep/Oct 2013), pg. 46-49.
"A Walk in the Park ... with Willis Winters, FAIA," TEXAS ARCHITECT, vol. 64, no. 1 (Jan/Feb 2014), pg. 86-89.
"Painted Churches," TEXAS ARCHITECT, vol. 64, no. 3 (May/June 2014), pg.13-14.
"Munday Library," TEXAS ARCHITECT, vol. 64, no. 5 (Sep/Oct 2014), pg. 78-81.
"Decatur Street House," TEXAS ARCHITECT, vol. 65, no. 5 (Sep/Oct 2015), pg. 92-95.
"Urban Change, Urban Memory," TEXAS ARCHITECT, vol. 65, no. 6 (Nov/Dec 2015), pg. 80-83.

PUBLICATIONS - BOOKS

- Author/Photographer. *Buildings of Texas* (2-vol. history for Society of Architectural Historians), vol. 1 Apr 2013.
Editor/Photographer. *Houston Architecture Guide*, 1990, 1999 Second Edition, 2012 Third Edition.
Editor. Three volumes of *Houston Architecture Images* by Valentin Gertsman.

ARCHITECTURAL EXHIBITIONS

- Houston AIA Festival of Architecture, Oct. 1983.
Houston AIA Design Awards Exhibit, Nov. 1985.
Houston AIA, Fourth Ward Transformations, Feb 1986
Galveston Arts Center, Mardi Gras Float Designs, Feb 1987
"Visions of Home," Bronx Museum of the Arts, 27 Sept-27 Jan 1990
"A little ARCHITECTURE:" Exhibition of Architectural Models. Houston Museum of Natural Science, 5 May - 3 June 1990 (Curator)
Sixth Biennale of the Bulgarian Union of Architects, Sofia, Bulgaria, July 1991 (Award, Architect Laureate of Kazakhstan)
"Main Street Houston," Museum of Fine Arts, Jan-Apr 1991 (Curator)
"Best Laid Plans," Lawndale Art and Performance Center, Houston, 20 May-5 July 1994
Seventh World Triennial of Architecture, Sofia, Bulgaria, 20-25 June 1994
"Designing for Change," AIA Houston Downtown Studies, Oct-Nov 1995 (Writer)
IAA Exhibition "Ecopolises-Settlements for Sustainable Development," Istanbul, 3-14 June 96
"Houston Works," Lawndale Art and Performance Center, Houston, 4 April - 17 May 1997.
"San Felipe Courts," Sixth International DOCOMOMO Conference, Stockholm, Sept. 98.
"75 That Made a Difference," HAIA Anniversary Exhibit, Oct. 1999 (Curator).
World Triennial of Architecture, Sofia, Bulgaria, May 2000.
Houston AIA, An Exhibition of a Life Merging Architecture and Nature: Charles Tapley. 2003 (Curator).
"Sacred Spaces of Texas," AIA Houston Architecture Center, 15 Nov 2012 – 13 Jan 2013 (Photography).

ARCHITECTURAL COMPETITIONS

City of Thousand Oaks, Civic Center Competition, 1969
Perugia, Italy, Fontivegge Area Redevelopment, 1970
Sesquicentennial Park, Houston, Texas, 1986
Fourth Ward Transformations, Houston, Texas 1986
Texas Hill Country Classic Design Competition, Austin, Tx, 1986
Lights Across the Lake, Congress Ave. Bridge, Austin, Tx, 1988
Visions of Home: Affordable Housing in the Bronx, NY, 1990
Evanston Public Library, Evanston IL, 1991
Spreebogen Parliamentary District, Berlin, Germany, 1992
Town Plan and Courthouse Competitions, Williamsburg, Virginia, 1995
Greenport Waterfront Park, Greenport, NY 1996

TRAVEL - PROFESSIONAL EDUCATION

Continental United States and Texas (ongoing): So. Germany, Italy (May-Jun 1979): France (Sept 1980), Finland, Sweden, Norway, Denmark (May-Jun 1981), Rome (May 1982): Germany, Austria (Sept 1982): London (Oct 1983): Holland, Germany, France, Belgium (May 1984): Finland, Leningrad USSR (Jan 1985): Egypt (Dec 1986): Austria, Germany (Feb 1988): Finland (Sept 1989): Tunisia (June 1990): Prague, Budapest, Vienna (June 1991): Kazakhstan, Uzbekistan, Russia, Bulgaria (Sept 1992): Finland (May 1993): Italy (Oct 1993): Bulgaria, Istanbul (June 1994): Spain (May 1995): India, SE Asia (April 1997): Denmark (Sept 1997): Mexico City (Sept 1994, Oct 1997): Munich/Stockholm/Helsinki/Tallinn (Sept 1998): Greece (Sept 1999): Moscow (June 2001): Cuba (Dec 2001-Jan 2002): Italy (Jun 2003): Scotland (May 2004): England (Sept. 2005), France (Dordogne, May 2007, Loire, Sept. 2007): Berlin / Weimar / Dresden / Braunschweig (May 2008), Bangladesh (Jan 2012), India (Jan 2012), Dublin (May 2012), Sarajevo / Mostar / Dubrovnik / Split / Venice (Aug 2014), Glasgow (June 2017)

PUBLICATIONS - ARCHITECTURAL PHOTOGRAPHY

Architectural Record, AIA Journal / Architecture, Progressive Architecture, Texas Architect, Domus (Italy), Architecture + Urbanism (A+U, Japan), CITE, Architektur & Bauforum (Austria), Houston Business Journal, Gourmet, Arte e Decoracao (A&D, Brazil), House Beautiful
AIA Calendar, 1986, 1987, 1988, 1992, 1997, 1999, 2002, 2003, 2004, 2005, 2006, 2007
AIA Note Cards 1987
Houston Architecture Guide, 1990, 1999 Second Edition, 2012 Third Edition.
AIA Houston Trading Cards, 1999
Buildings of Texas (2-vol. history for Society of Architectural Historians), vol. 1 Apr 2013.
Mod, Anna. *Building Modern Houston*. Charleston: Arcadia Publishing, 2011.

PHOTOGRAPHIC EXHIBITIONS

Galveston Arts Council, Sept 1976 (Group)
Jewish Community Center, May 1977 (Group)
Cronin Gallery, 19 Jul-6 Aug 1977 (Group)
Autry House Gallery, 22 Feb-20 Mar 1979
Houston Center for Photography, 1984 (Group)
AIA National Convention, Jun 1985 (Group)
Young Architect's Forum Photo Exhibit, HAIA, Sept 1985 (Group)
Houston Center for Photography, March 1986 (Group)
AIA National Convention, Jun 1986, May 1990, May 1996 (Group)
"Downtown Houston: Then and Now, a Photographic History," Fotofest, March 1996 (Curator, Photogr.)
"Architecture in Houston: 160 Years," Wortham Center, August 1996 (Curator, Photographer).
MD Modern Gallery, 17 Feb - Mar 1998 (Group)
"Blurred Boundaries," Winter Street Art Center, 17 Oct. - 9 Nov. 1998 (Group)
"Small Works," MD Modern Gallery, Houston, 5 Dec 98 - (Group)
"Art by Architects," One Houston Center, 1-31 Apr 2005 (Group)
"Sacred Spaces of Texas," AIA Houston Architecture Center, 15 Nov 2012 - 13 Jan 2013 (Group).
Houston Center for Photography, 35th Anniversary Exhibition, Feb 2016 (Group).

PHOTOGRAPHIC AWARDS

AIA National Photography Contest - 1985, Second Place
AIA National Photography Contest - 1985, Merit Award
AIA National Photography Contest - 1986, Special Commendation (2)
AIA National Photography Contest - 1990, Second Place
Gourmet's 1994/1995 Local Color Travel Photo Contest - Honorable Mention
AIA National Photography Contest - 1995, Commendation Award
AIA National Photography Contest - 2005, Commendation Award
AIA National Photography Contest - 2006, Honorable Mention

EXHIBITION CURATOR

"A little ARCHITECTURE," exhibition of architectural models, Houston Museum of Natural Science,
5 May - 3 June 1990 (Curator)
"Main Street Houston," Museum of Fine Arts, Jan-Apr 1991 (Curator)
"Designing for Change," AIA Houston Downtown Studies, Oct-Nov 1995 (Writer)
"Downtown Houston: Then and Now, a Photographic History," Fotofest, March 1996 (Curator, Photos)
"Architecture in Houston: 160 Years," Wortham Center, August 1996 (Curator, Photographer).
"75 That Made a Difference," HAIA Anniversary Exhibit, October 1999 (Curator).
"Charles Tapley FAIA," the AIA Houston Jefferson Award Exhibition, April 2003 (Curator).

SELECTED WORK

INSTITUTIONAL

- The Nau Center for Texas Cultural Heritage, Houston TX 2012-2014
Cultural Visitor Center & Regional History Exhibits, 55,000 sf
(Design Consultant: Bailey Architects)
- Caddo Mounds State Historic Site, Alto TX 2014
Visitor Center Expansion, 5000 sf
(Project Architect: Bailey Architects)
- Medina County Annex, Devine TX 2010
Renovation, 10,000 sf
(Project Architect: Bailey Architects)
- Lorenzo de Zavala State Library and Archives, Austin TX 2006-09
Renovation, 115,000 sf
(Project Designer: Bailey Architects)
- John P. McGovern Children's Zoo, Houston Zoological Gardens, Houston TX, 2000
2.2 Acre Children's Zoo
(Project Architect: Ray Bailey Architects)
- Robert E. Lee High School, Houston, 1990-92
Library Addition and School Renovation, 40,000 sf
(Project Architect: Reid/Fehn)
- Hinton Tower, Houston Baptist University, project 1986
Eight story tower w/ library, classrooms, admin., 96,000 sf
(Project Designer: Lloyd Jones Fillpot Assoc.)
- Seeley G. Mudd Computer Science Laboratory, Rice University, Houston, 1981-3
Classrooms, offices, central university computer, 27,000sf
(Project Architect: Charles Tapley Assoc.)
- Camp Kappe Retreat, Plantersville, 1979-82
Environmental studies, master plan, phase one of youth retreat
(Project Architect: Charles Tapley Assoc.)
- Camp Allen, Episcopal Camps & Conference Center, Navasota, 1973-75
Ecological studies, master plan, phased development of year-round youth and adult activities,
conference center, 44,000sf, 700 acre virgin site
(Project Architect: Charles Tapley Assoc.)
- Ossipee School, Ossipee NH, 1972
(Project Designer: Kenneth F. Parry Associates)
- Desert Samaritan Hospital, Tempe AZ, 1970
(Project Designer: CRS)

COMMERCIAL

- Columbia Mall, Columbia MD, 1997-2000
Additions and Renovations to regional mall
(Project Architect: Ray Bailey Architects)
- The Bank of Texas and Kazakhstan, Almaty, 1993 (Project)
Bank and Office Tower, 300,000 sf
- Orlando Centroplex Arena, Orlando, Florida, 1986-89
Destination arena for sports & concerts, 370,000 sf
(Project Designer: Lloyd Jones Fillpot Associates)
- Kingwood Information Center & Sales Office, 1974
New town sales and information building
(Project Architect: Charles Tapley Assoc.)
- Konecranes Campus, Houston, 1997
Office and Industrial Facility, 34,000 sf
(Associated with ML Reid Architects)
- Red Oak Surgery Center, Houston, 1997
Medical Bldg. and Office Bldg, 50,000 sf

SELECTED WORK

- (Associated with ML Reid Architects)
- One Commerce Green, Houston, 1997
Office Bldg., 54,000 sf
(Associated with ML Reid Architects)
- Bing & Reed Building, Williston VT, 1972
(Project Designer: Kenneth F. Parry Associates)
- Suncook Bank, Suncook NH, 1972
(Project Designer: Kenneth F. Parry Associates)
- New Hampshire State Federal Credit Union, Concord NH, 1972
(Project Designer: Kenneth F. Parry Associates)
- RMC Building, El Paso TX, project 1972
(Gerald Moorhead*Architect)

LITURGICAL

- Congregation Emanu El, Houston TX 2007-09
Master Plan w/ Education, Meeting, Parking Facilities
(Project Architect: Bailey Architects)
- Emanu El Memorial Park, Restrooms, Houston TX 2006
Restrooms for Cemetery
(Project Architect: Bailey Architects)
- Palmer Memorial Episcopal Church, Houston TX, 2000-04
Master Plan, Restoration & Expansion of historic 1927 church and complex
(Project Architect: Ray Bailey Architects)
- Trinity Episcopal Church, Baytown TX, 1991-93
Facilities Analysis, Master Planning, Renovations, 30,000 sf
- St. Mary's Episcopal Church, Houston, 1986-88
Phase I facilities for new congregation, 9115 sf
- Michael the Archangel Catholic Church, Houston, 1991
Meditation Chapel Furnishings
- St. Timothy's Episcopal Church Master Plan, Lake Jackson, 1985
Facilities analysis and master plan, 34,000sf
- Christ the Redeemer Catholic Church, Houston, 1982-84
Master plan and first phase for new parish, 25,000sf, 6 acres
(Project Architect: Charles Tapley Assoc.)
- Northwoods Presbyterian Church, Houston, 1980-82
Master plan and new sanctuary, 14,000sf
(Project Architect: Charles Tapley Assoc.)
- St. Thomas Aquinas Catholic Church, Houston, 1979-81
Master plan and phase one for new parish, 14,000sf, 10 acres
(Project Architect: Charles Tapley Assoc.)
- Christ the King Lutheran Church, Houston, 1979-83
Master plan, remodeling, new sanctuary, 10,700sf
(Project Architect: Charles Tapley Assoc.)
- St. Cecilia Catholic Church, Houston, 1975-78
New sanctuary, 18,500sf
(Project Architect: Charles Tapley Assoc.)

HISTORIC PRESERVATION/RESTORATION

- Scanlan House at Sienna Plantation, Fort Bend County TX, 2017
Historic Assessment of 1937 house
(Preservation Consultant: Fort Bend County Commissioners Court)
- Rose Hill Manor, Beaumont TX, 2016-2017
Consultation for SAL Permit
(Preservation Consultant: The LaBiche Architecture Group)

SELECTED WORK

- Galveston Pump House, Galveston TX, 2016-2017
Consultation for restoration of the 1904 30th Street Pump House
(Preservation Consultant: The LaBiche Architecture Group)
- San Jacinto Monument, Deer Park TX, 2014-2016
Masonry and Bronze Door restoration
(Preservation Consultant: Bailey Architects / Shepley Bulfinch)
- Fort Bend County Courthouse, Richmond TX, 2013
Historic Preservation Master Plan & Restoration for 1909 courthouse
(Project Architect: Bailey Architects)
- Galveston Island Residences, Galveston TX, 2012
Restoration of 2 historic residences for Texas Parks and Wildlife Department
(Project Architect: Bailey Architects)
- Camp Mabry, Bldgs. 1, 14, 26, Austin TX 2010
Historic Preservation Master Plan for 1918 military buildings
(Project Architect: Bailey Architects)
- Camp Mabry, Bldgs. 1, 6, 10, 11, 14, Austin Texas, 2008-2012
Historic Restoration & Rehabilitation of historic 1918 military buildings
(Project Architect: Bailey Architects)
- Jefferson County Courthouse, Beaumont, Texas, 2007-11
Historic Preservation Master Plan for 1930 courthouse, Phased Restoration
(Project Architect: Bailey Architects)
- Medina County 1893 Jail, Hondo TX, 2010
Historic Restoration of Historic Jail
(Project Architect: Bailey Architects)
- Jim Wells County Courthouse, Alice TX, 2006
Historic Preservation Master Plan for 1913 courthouse
(Project Architect: Bailey Architects)
- Medina County Courthouse, Hondo TX, 2006
Historic Preservation Master Plan for 1894 courthouse
(Project Architect: Bailey Architects)
- Chambers County Courthouse, Anahuac TX, 2006
Historic Preservation Master Plan for 1936 courthouse
(Project Architect: Bailey Architects)
- Matagorda County Museum, Bay City TX, 2005-6
Restoration of 1912 Post Office
(Project Architect: Bailey Architects)
- Gay Hill RR Depot Renovation, Gay Hill, TX, 2004
Restoration of historic 1900 Santa Fe depot
(Project Architect: Bailey Architects)
- Austin County Jail Museum Restoration, Bellville, TX, 2003-4
Restoration of historic 1896 jail
(Project Architect: Ray Bailey Architects)
- Palmer Episcopal Church, Houston TX, 2000-04
Master Plan, Restoration & Expansion of historic 1927 church
(Project Architect: Ray Bailey Architects)
- Calhoun County Courthouse, Port Lavaca, TX 2004-8
Courthouse renovation, 32,000 sf
(Project Architect: Ray Bailey Architects)
- Wharton County Courthouse Annex, Wharton, TX 2002
County offices in renovated commercial spaces, 42,000 sf
(Project Architect: Ray Bailey Architects)
- Houston County Courthouse Annex, Crockett TX, 2001
County offices in renovated 1913 historic structure, 12,000 sf
(Project Architect: Ray Bailey Architects)

SELECTED WORK

- Joe Barnhart Bee County Library, Beeville TX, 2001
New public library in historic 1906 structure, 10,000 sf
(Project Architect: Ray Bailey Architects)
- Houston County Courthouse Annex, Crockett TX, 2001-2011
County offices in renovated 1913 historic structure, 10,000 sf
(Project Architect: Ray Bailey Architects)
- Joe Barnhart Bee County Library, Beeville TX, 2000
New public library in historic 1906 structure, 10,000 sf
(Project Architect: Ray Bailey Architects)
- Bee County Courthouse, Beeville TX, 2001-2006
Restoration of 1912 County Courthouse, 28,000 sf
(Project Architect: Ray Bailey Architects)
- Wharton County Courthouse, Wharton TX, 2000-07
Restoration of 1889 County Courthouse, 15,000 sf
(Project Architect: Ray Bailey Architects)
- Liberty County Courthouse, Liberty TX, 1999-2000
Master Plan for Historic Preservation of 1931 courthouse, 42,000 sf
(Project Architect: Ray Bailey Architects)
- Houston County Courthouse, Crockett TX, 2000
Master Plan for Historic Preservation of 1939 courthouse, 12,000 sf
(Project Architect: Ray Bailey Architects)
- Sewall/Avery Residence Restoration, Houston, 1976-78
Restoration of 1924 Spanish Revival house by Ralph Adams Cram
(Project Architect: Charles Tapley Assoc.)

INTERIOR ARCHITECTURE

- Law Offices for Jenkins & Gilchrist, Houston, 1993-7
Space Planning and Interior Design, 46,000 sf
- Nature's Way, Retail Shop, 1996
Interior Design, 1800 sf
Associated with ML Reid Architects
- Piccolini, Retail Shop, 1997
Interior Design, 2000 sf
Associated with ML Reid Architects
- Pro Image, Retail Shop, 1996
Interior Design, 1200 sf
Associated with ML Reid Architects
- The Coffee Beanery, Retail Shop, 1996
Interior Design, 2150 sf
Associated with ML Reid Architects
- Medical Offices for Dr. Gleb Bourianoff, Houston, 1985
Space planning and interior design, 3000sf
- Law Offices for Townsend, Brodsky, Lerman & Levy, Houston, 1984
Space planning and interior design, 15,000sf
- Exhibition System for Houston Center for Photography, 1983
Interior Design of flexible exhibition system, 3000sf
- Architectural Office, Gerald Moorhead*Architect, Houston TX 1983
Interior Design of flexible furniture and storage systems
- Brazos Bookstore, Houston, 1980
Interior design for retail bookseller, including custom furniture

SELECTED WORK

COMPETITIONS / URBAN DESIGN

City of Thousand Oaks Civic Center, Competition 1969
Perugia, Italy, Fontivegge Area Redevelopment, Competition 1970
Sesquicentennial Park, Houston, Texas, Competition 1986
Fourth Ward Transformations, Houston, Texas, Competition 1986
Texas Hill Country Classic Design Competition, 1986
Lights Across the Lake, Congress Ave. Bridge, Austin, Tx, Competition 1988
Visions of Home: Affordable Housing in the Bronx, NY, Competition 1990
Evanston Public Library, Evanston IL, 1991
Spreebogen Parliamentary District, Berlin, Germany, Competition 1992
Town Plan and Courthouse Competitions, Williamsburg, Virginia, 1995
Greenport Waterfront Park, Greenport, NY, Competition 1996

CUSTOM RESIDENTIAL - NEW HOMES

Koy Residence, Austin County TX, 2001-2, 2006-7
(Project Architect: Bailey Architects)
Kirkland Residence, Austin County TX, 1999-2000
(Project Architect: Ray Bailey Architects)
Azios Residence, Houston TX, (project) 1995
Elliott Residence, Lakeland TN, 1993
Taaffe Pueblo, Santa Fe NM (project), 1993
Naman Fishing Camp, Milam Co., TX, 1992
Myers Residence, Austin TX, 1982-84
Dickey Residence, Houston TX, (project) 1983
Deal Residence, Austin TX, 1980-82
(Project Architect: Charles Tapley Assoc.)
Elva and Thomas Moorhead House, Clint TX, 1979
Davis Residence, Houston TX, 1977-78
(Project Architect: Charles Tapley Assoc.)
Goettsche Guest House, Houston TX, 1977-78
(Project Architect: Charles Tapley Assoc.)
Marilou and Wayne Moorhead House, El Paso TX (project), 1976

CUSTOM RESIDENTIAL - ADDITIONS, REMODELINGS, INTERIORS

Amanda and Martin Frame House, nr. Marlborough UK, 2002
Moorhead/Schmidt House, Houston TX, 1999-2001
Herasimchuk Residence, Houston TX 1999
(Project Architect: Ray Bailey Architects)
Allison Residence, Houston TX, 1997-98
Schmidt Residence, Rosenberg TX, 1996
Rybiski Residence, Houston TX, 1994
Lago Vista Ranch, Utopia TX, 1985
Peterman Residence, Houston TX, 1984
Beren/Jefferson Residence, Houston TX, 1984, 1995-96
Wilson House, Houston TX, 1984
McGowan House, Houston TX, 1984
Drury Residence, Houston TX, 1983
Friedman/Atlas Residence, Houston TX, 1983
Brotsky Residence, Houston TX, 1980, 1984-85, 1994-95, 2005
Stude Residence, Houston TX, 1978, 1985, 1987
Taaffe Residence, Houston TX, 1977
Moorhead/Schmidt House, Houston TX, 1977-1980

SELECTED WORK

SPECULATIVE RESIDENTIAL - NEW HOMES and DEVELOPMENTS

Housing Models, Houston Habitat for Humanity, 1996-9

Montrose Townhouse Lofts, Houston TX, 1996

(Associate Architect w/ I. Phillips)

Norwood Park Housing, Jamaica, 1991 (Project)

(Project Architect: Reid/Fehn)

Visions of Home: Affordable Housing in the Bronx, NY, Competition 1990

Schooner Drive House (M.C. Taboada, Inc), Austin, 1984

Southland Street Duplexes (M.C. Taboada, Inc), Austin, 1984-85

Flintridge House (M.C. Taboada, Inc), Austin, 1982

Woodlake Townhouses (J. Heaton Co.), Houston, 1977

(Project Architect: Charles Tapley Assoc.)

Woodlands Cluster Houses (Woodlands Dev. Co.), Woodlands, 1974

(Project Architect: Charles Tapley Assoc.)

Principal - Roofing/Building Envelope Consultant



hollon+cannon
group, llc

Profile:

An innovative and highly creative Senior Roofing and Waterproofing Consultant with a 25 year track record of optimizing hands-on expertise and comprehensive design of multi-million dollar roofing and waterproofing projects.

With over 20 years of experience in the Roofing and Waterproofing Consulting field Mr. Hollon has the experience and knowledge to provide clients with professional guidance through all phases of their projects. Mr. Hollon is committed to excellence and provides superior consulting services.

Key Experience:

Evaluations / Assessments
Roofing System Design
Specification Writing
Contract Administration
Construction Quality Control
Code Research
Roof Asset Management

Professional Experience:

Hollon+Cannon Group, LLC - Austin, Texas

Principal - Roofing/Building Envelope Consultant **Nov. 2009 - Present**

- Evaluation and Assessment of Client Building Envelope Assets.
- Design of Roofing and Waterproofing Systems
- Production of Construction Documents
- Contract Administration
- Construction Quality Control Monitoring (Q/C)
- Code Research
- Client Relations
- Industry Relations

Amtech Building Sciences, Inc -- Austin/San Antonio, Texas

Director of Operations **July 2005 - Nov. 2009**

- Evaluation and Assessment of Client Building Envelope Assets.
- Design of Roofing and Waterproofing Systems
- Specification Writing
- Contract Administration
- Construction Quality Control Monitoring (Q/C)
- Management of Day to Day Operations
- Management of Design Staff
- Client Relations
- Industry Relations

Project Manager

1994 - July 2005

- Evaluation and Assessment of Client Building Envelope Assets.
- Design of Roofing and Waterproofing Systems
- Production of Construction Documents
- Construction Quality Control Monitoring (Q/C)
- Management of Design Personnel
- Client Relations

Amtech Building Sciences, Inc -- Dallas, Texas

Project Manager / Design Manager

1985 - 1994

- Evaluation and Assessment of Client Building Envelope Assets.
- Design of Roofing and Waterproofing Systems
- Production of Construction Documents
- Contract Administration
- Construction Quality Control Monitoring (Q/C)
- Management of Design/CAD Personnel

Professional Association Registrations:

American Institute of Architects, Associate Member (Assoc.AIA)
Institute of Roofing, Waterproofing and Building Envelope Professionals (RCI)

Education:

Bachelor of Architecture - 1985
University of Oregon

References:

Available upon request.

| THE EXPERIENCE

PRINCIPAL
CLIENTS
SERVED OVER
THE PAST 5
YEARS:

Jefferson County Commissioners Court
City of Port Arthur
Hardin County
Diocese of Beaumont
Port Arthur Independent School District
Beaumont Independent School District
Hamshire - Fannett Independent School District
City of Galveston
Orange Housing Authority
Beaumont Housing Authority
Rose Hill Manor - City of Port Arthur
Steinhagen Oil
Top Golf
Jefferson County
Jefferson County WCID 10
City of Beaumont
City of Pasadena
Food Bank of Southeast Texas
Port of Beaumont
Orange County
Mobiloil Credit Union
Post Oak Bank
City of Nederland

www.laBette.com

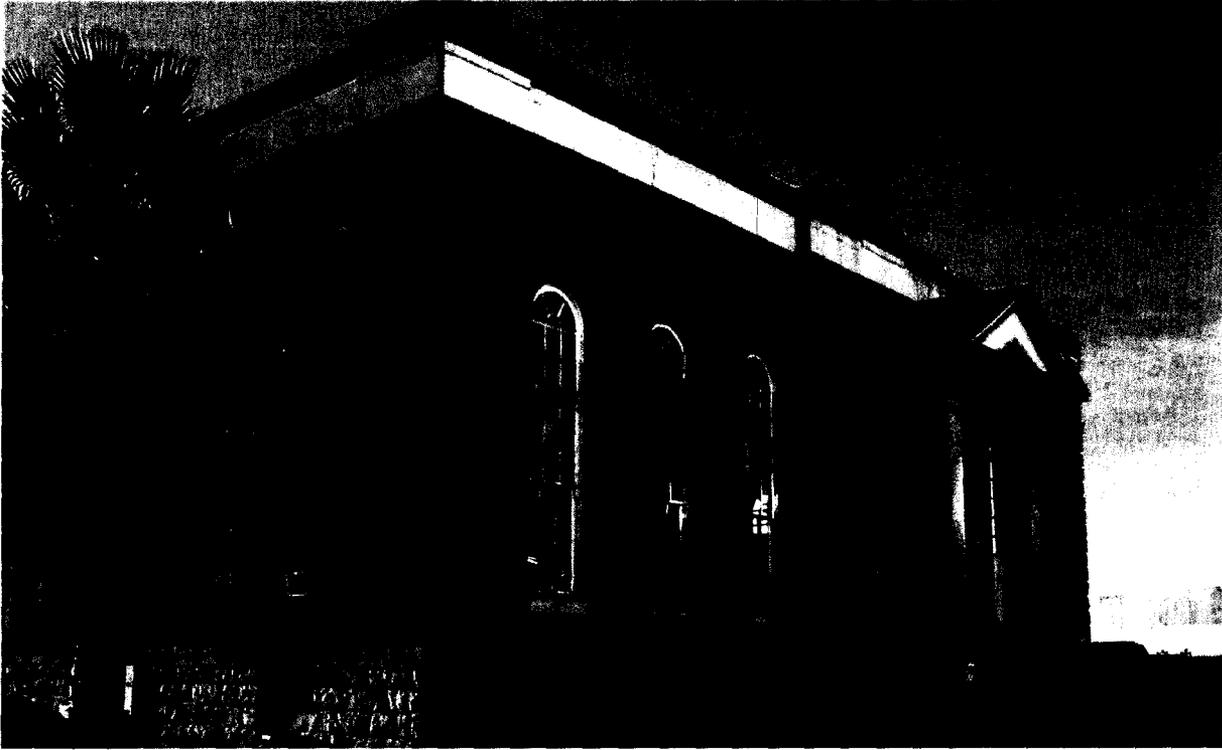
LaBette Architectural Group



White Haven House - Port Arthur, TX

30TH STREET WATER & ELECTRIC LIGHT STATION GALVESTON, TEXAS

www.la8arch.com



Description:

This 1904 water and electric light pump station located in Galveston, Texas, is being restored and renovated into a community meeting center for a historical neighborhood, currently being revitalized with the constructor of New Housing at Ball and 30th Street.

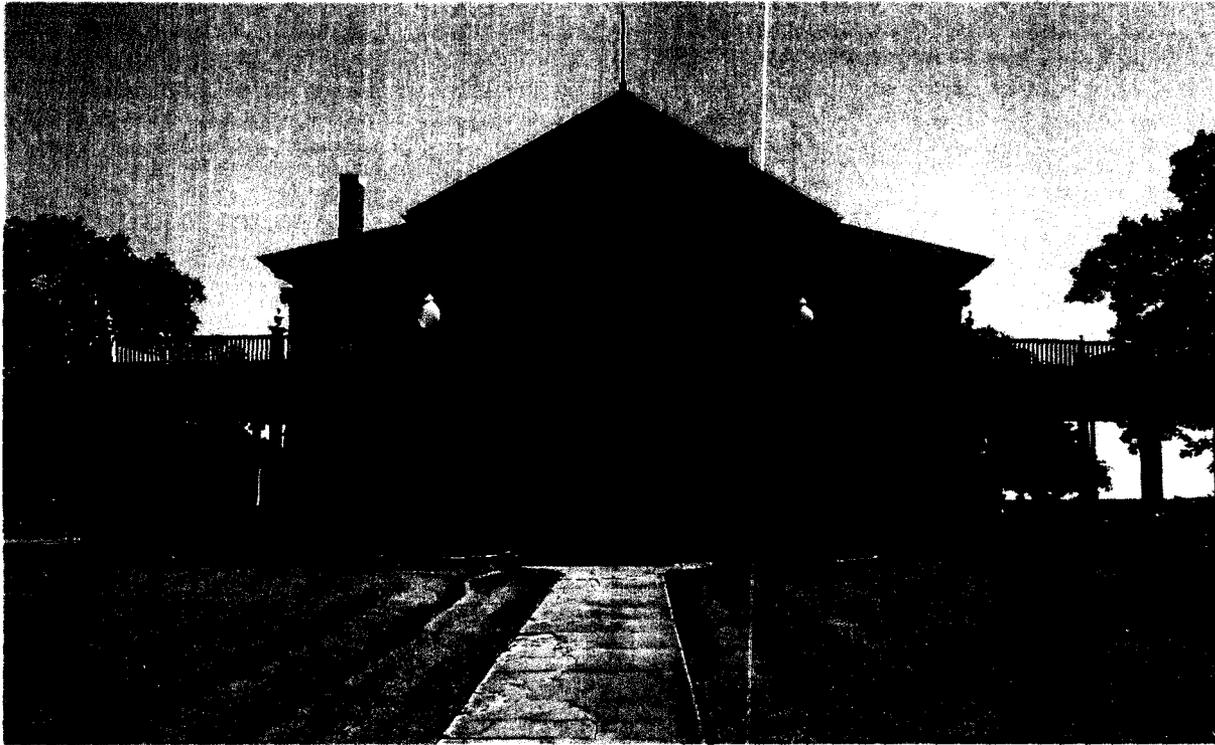
The project will restore historic masonry and stone, remove and restore the buildings wood windows, replicate the missing sheet metal cornice and remodel the interiors for use as a meeting facility. One of the highlights of the restoration will be the installation of a glass panel floor over the old water pump wells which will allow visitors to walk over and view the building historic water pumps.



ROSE HILL MANOR

PORT ARTHUR, TEXAS

www.lafayette.com

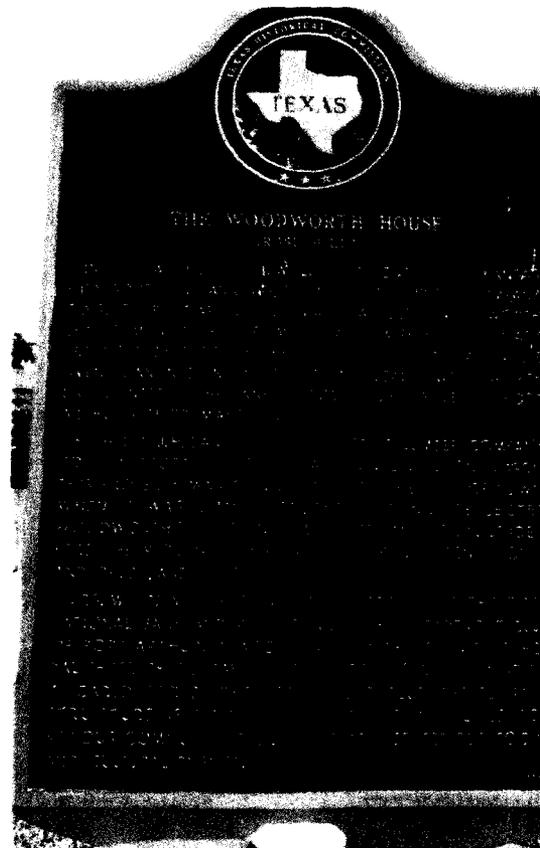


Description:

Exterior restoration of the 1908 residence currently owned by the City of Port Arthur and used as a meeting and banquet facility. The firm is currently involved in exterior renovations to masonry, flashings, roofing and windows. The project also involves removal and replacement of historical plaster.

The scope of work also included:

Assisting with and provide application materials needed for the TPTF Grant, verify site conditions and document work required for restoration of three chimneys, prepare a report documenting the extent of restoration work required, prepare a historic preservation schedule showing items of work, phases of work and a yearly timeline indicating work to be completed, prepare Construction Documents for items listed above and submit to the Texas Historical Commission for a Preservation Permit, prepare modifications to the Construction Documents to correspond to City's available funding upon approval of the construction budget, assist with application to the Texas Historical Commission for an Antiquities Permit prior to beginning construction.



Lafayette Architectural Group

ORANGE CO. COURTHOUSE

ORANGE, TEXAS

www.laBiche.com

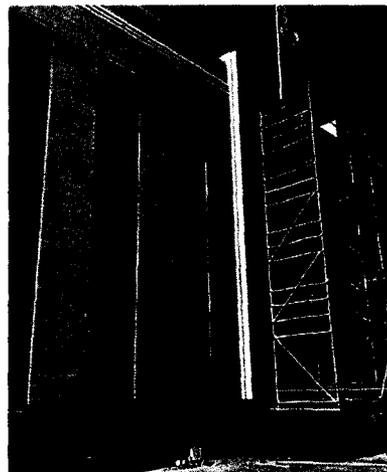


Description:

This project will restore this beautiful 1930's "art deco" courthouses stone work on the front elevation, including windows, removing and cleaning all historic light fixtures.

This project is currently underway to remove the scaffolding currently in place at the front entrance to make stone repairs to reopen the front entrance of the Courthouse for the citizens to use and admire.

The roofing above the building entrance will also be replaced with new two-ply modified roof system and flashings. It is estimated this project will complete in September 2019.



FEDERATED WOMEN'S CLUBS OF PORT ARTHUR

PORT ARTHUR, TEXAS

www.labiarch.com



Description:

The Historic Restoration of this beautifully designed 1924 structure will repair interior and exterior blemishes such as; rotted wood on the buildings exterior with "in kind" materials to match existing siding, soffits, eaves and porch: framing, decks, railings, steps and building skirting. It will also include repairs to the rotted roof decking and associated shingle roofing, replacement of gutters and downspouts.

Interior restorations will include sanding and refinishing wood floors, repair and replace wood deck, flooring, rotted wood ceiling and paint, repaint interior of entire building.

This project is currently in progress.



| INSURANCE



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
04/11/2019

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Cole B. Gober, Agent State Farm Mutual Automobile Insurance Co. 3302 McFaddin St STE 1 Beaumont, TX 77706	CONTACT NAME: Cole B. Gober or Michelle Guzman PHONE (A/C, No, Ext): 409-212-8406 FAX (A/C, No): 409-813-1536 E-MAIL ADDRESS: cole.gober.b2rt@statefarm.com
	INSURER(S) AFFORDING COVERAGE
INSURED The Labiche Architectural Group, Inc. 7999 Gladys St. STE 101 Beaumont, TX 77703	INSURER A: State Farm Mutual Automobile Insurance Company NAIC # 25178
	INSURER B:
	INSURER C:
	INSURER D:
	INSURER E:
	INSURER F:

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD: WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC <input type="checkbox"/> OTHER					EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COM/POP AGG \$ \$
	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input checked="" type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS ONLY	X X	116 1751 A29 53J 097 9493 E02 53K	01/29/2019 04/11/2019	01/29/2020 05/02/2020	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes describe under DESCRIPTION OF OPERATIONS below	Y/N <input type="checkbox"/> N/A				<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
Description: Lamar State College-Orange
IDIQ A/E Services

CERTIFICATE HOLDER CANCELLATION

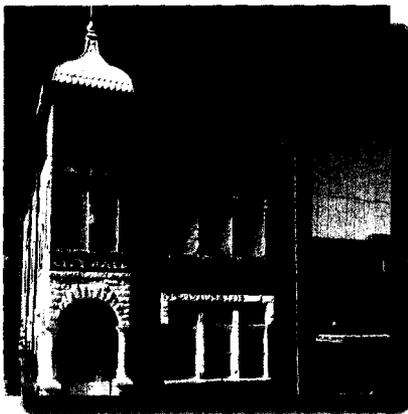
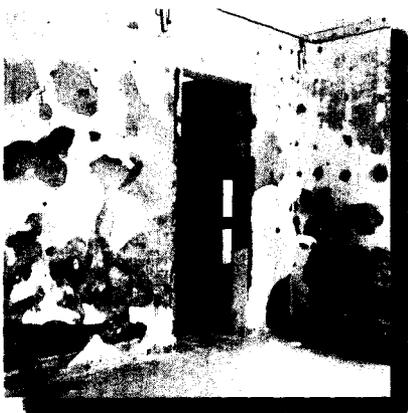
The Texas State University System Board of Regents c/o Vice Chancellor and Chief Financial Officer 601 Colorado, Street Austin, Texas 78701	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
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SUBMITTAL OF QUALIFICATIONS
FOR
Preservation Architect
FOR
TYLER COUNTY

RFQ DATED APRIL 26, 2019

Due: June 4, 2019



Hutson | Gallagher
ARCHITECTURE & CONSERVATION

Letter of Transmittal

May 28, 2019

To: The Honorable Jacques L. Blanchette
Tyler County Judge
Tyler County Courthouse
100 West Bluff Street, Room 105
Woodville, Texas 75979

Re: RFQ for Preservation Architect

Sent via: United States Postal Service

We are sending you the following items:

Copies	Date	No.	Description
1	05/28/2019		Original Submittal of Qualifications
1	05/28/2019		Thumbdrive with Electronic Copy of Submittal of Qualifications

These are transmitted as checked below:

- | | |
|--|---|
| <input type="checkbox"/> FOR APPROVAL | <input type="checkbox"/> APPROVED AS SUBMITTED |
| <input checked="" type="checkbox"/> FOR YOUR USE | <input type="checkbox"/> APPROVED AS NOTED |
| <input type="checkbox"/> AS REQUESTED | <input type="checkbox"/> RETURNED FOR CORRECTIONS |
| <input type="checkbox"/> RETURN TO US AFTER USE | <input type="checkbox"/> REVISE and RESUBMIT |
| <input type="checkbox"/> SEE MEMO BELOW | |

Memo:

Sincerely,



Tracy Hirschman Hutson, LEED AP
Principal

May 29, 2019

Attn: Honorable Jacques L. Blanchette
Tyler County Judge
100 W. Bluff, Room 105
Woodville, Texas 75979

Re: Request for Qualifications for Preservation Architect

Dear Judge Blanchette,

We are delighted to have this opportunity to submit our qualifications for the selection of the Preservation Architect for the remediation measures planned for the Tyler County Courthouse.

Our architectural firm, Hutson|Gallagher, provides full services that specialize exclusively in preservation and conservation for commercial and public historic architecture in Texas. As you are aware, we are also the team members who were formerly involved with the master plan update with John Volz prior to his retirement.

Our firm's principals and associates have worked on some of the most iconic historic properties throughout the State of Texas. Those properties include sixteen historic Texas county courthouses - Tyler County Courthouse counted among them, the Brazoria County Historical Museum, the Bolivar Point Lighthouse, the Immaculate Conception Cathedral in Brownsville, the Fulton Mansion in Rockport, the Texas Governor's Mansion, and The Alamo, to name a few. We recently completed the restoration of the 1910 Old Hidalgo County Jail and are currently restoring the 1884 Old Hays County Jail in San Marcos, the Texas Historical Commission's French Legation State Historic Site in Austin, and we are the lead historic preservation architect for Austin Community College's historic 1915 Rio Grande Campus rehabilitation.

As you can imagine from the list above, the overwhelming majority of our projects require coordination with the Texas Historical Commission to ensure adherence to the Secretary of the Interior's guidelines. We have an excellent working relationship with the THC and are well versed in the application of the Texas Antiquities Code and the THC's permitting and approval process. I think you will find us to be a great asset to the County while performing the remediation measures requested by the THC.

We look forward to working with you and the County should our firm be selected. We thank you for this opportunity.

Sincerely,



Tracy Hirschman Hutson, President
Hutson Gallagher, Inc.

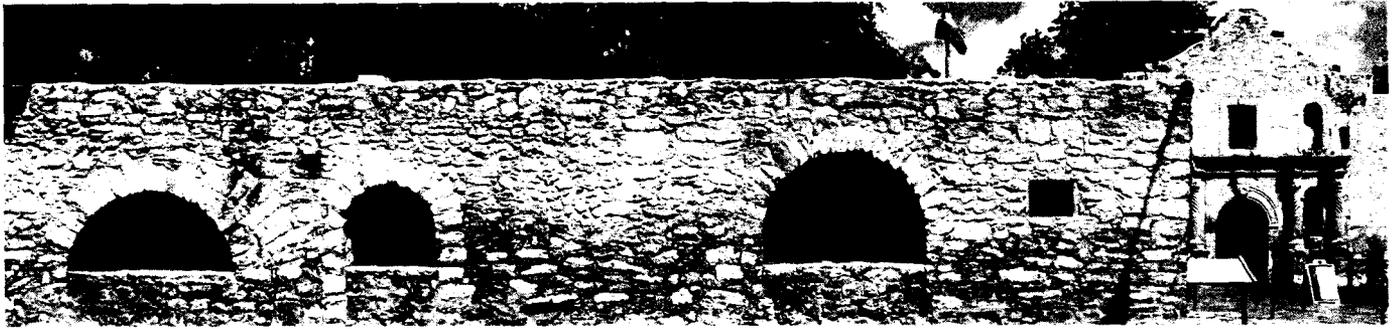


TABLE OF CONTENTS

Letter of Interest..... i
Table of Contents ii

Response Requirements

Firm Information.....p. 1
Principal Business.....p. 1
Officers of the Firm.....p. 2
Professionals.....p. 2
 Team Member Resumes.....p. 3
Clients and Projects.....p. 6
Unique Challengesp. 8
Referencesp. 9
 Client Letters of Referencep. 11
 Banker & Accountant Letters of Acknowledgement.....p. 14
Insurancep. 16



Response Requirements

Firm Information

Name: Hutson Gallagher, Inc.
Address: 1206 Quail Park Drive, Austin, Texas 78758-6621
Type of Organization Corporation

Brief History This Texas based firm was established on the comprehensive experience of its principals and associates. Chris Hutson and Tracy Hirschman Hutson, the firm's principals, have respectively 29 and 27 years of experience in the architectural field. They have worked together since 1999 while at their former preservation firm, Volz O'Connell Hutson Inc (previously named Volz & Associates), where Chris served as Principal Architect and Tracy as Architectural Designer and Project Manager. With the retirement of that firm's original founders, Chris and Tracy created Hutson|Gallagher in 2016. Casey Gallagher, a historic preservationist and conservator, joined them shortly after its formation, and Senior Architectural Conservator Fran Gale became an associate the following year. Fran Gale is one of the preeminent architectural conservators in the nation, with a distinguished project list that includes several notable landmarks such as the Vanderbilt Mansion, The Statue of Liberty, The University of Texas at Austin, The University of Virginia, and the San Jacinto Memorial, among others.

Principal Business

Hutson|Gallagher is an architecture firm that specializes exclusively in providing services for historic architecture and the conservation of historic building materials. Much of their work has included restoration and repairs of several late 19th- and 20th-century masonry structures, including historic Texas county courthouses such as Colorado 1891, Comal 1898, Donley 1891, Fayette 1881, Kimble 1929, Llano 1892, Sutton 1891, and Val Verde 1887. Other similar projects are the Brazoria County Historical Museum 1891 with 1910 & 1927 additions, the Hirshfeld-Moore House 1885, the Immaculate Conception Cathedral in Brownsville 1857, the Fulton Mansion 1874, the Neill-Cochran House Museum 1854, the Texas Governor's Mansion 1854, the Littlefield Home and Carriage House 1893, the City of Granger's Old City Hall 1909, and the Old Hidalgo County Jail in Edinburg 1910.

The firm provides a large range of services associated with historic preservation needs, and this includes:

- Full architectural services for restoration, preservation, rehabilitation, reutilization, compatible new design, HABS/HAER documentation, code compliance and accessibility upgrades;
- Planning for historic structure reports, master planning, historic resources surveys, nominations (local, state and federal), design guidelines, and tax incentives;
- Conservation services for masonry, wood, metals, finishes including paints and wallpapers, restoration of historic fixtures, and furnishings;
- Architectural research that includes historic context, archival research, and database development for historic documentation and resources.



Officers of the Firm

Hutson | Gallagher is a Texas and SBA certified woman-owned small business HUB.

Owners: Tracy Hirschman Hutson, President (*resume on page 4*)
Chris Hutson AIA, Vice President (*resume on page 3*)

Contact Info: 1206 Quail Park Drive, Austin, Texas 78758-6621
Telephone: (512) 960-0013

Professionals

Chris Hutson, A.I.A. - *Principal Architect and Project Manager*

Chris Hutson will serve as the Principal Project Architect and Project Manager for this contract. He will be responsible for the management, design, and production for the scope of work. He will oversee and participate in field investigation and analysis. He will be responsible for communicating with the Owner and for coordinating the work of the consultant team members throughout the project. *See resume on page 3.*

Tracy Hirschman Hutson - *Architectural Designer and Project Coordinator*

Tracy Hirschman Hutson is the Principal Contracting Officer and Project Manager for HG and oversees the firm's overall scheduling. She is also the Architectural Designer and participates in the both the investigation, documentation, and design process, and is the production manager for construction documents. She is also responsible for any necessary research or historical writing and reports. *See resume on page 4.*

Pat Nicholson - *Architectural Designer*

Pat Nicholson is an architectural designer and preservationist who is experienced in historic building documentation, CAD drafting and design, code and ADA/TAS analysis, and historic tax credit application support. He will be responsible for construction documents and production. *See resume on page 5.*



CHRIS HUTSON, AIA
Principal / Architect

EDUCATION

University of Houston,
Bachelor of Architecture
summa cum laude

REGISTRATION

Texas Architect,
License 15635

LEED AP BD+C

AFFILIATIONS

National Trust for Historic
Preservation
Preservation Texas
Preservation Austin
USGBC Central Texas
Balcones Chapter

PROFESSIONAL CAREER

Chris Hutson is the principal architect of **Hutson | Gallagher**. He has over 29 years of architectural experience and is a former principal of Volz O'Connell Hutson, Inc., where he was employed for 17 years. He has an additional 12 years of collective experience with David Watson Architect of Galveston and Cunningham Engineering of Houston. His body of work showcases his expertise in preservation with over 125 historic structures, including an array of commercial, institutional, religious and residential clients.

SPECIALIZED EXPERTISE

Mr. Hutson has acquired detailed technical training and experience in the following areas:

- Historic preservation and adaptive reuse
- Restoration master planning and feasibility studies
- Cost estimating and budget analysis for historic rehabilitations
- Masonry and wood conservation
- Hardware restoration and reproduction
- Historic tax credit applications
- Sustainable building design and conservation of materials
- International Building Code compliance for historic buildings
- ADA / TAS Accessibility Standards

PRESERVATION EXPERIENCE

Mr. Hutson is responsible for the design and development of numerous master plans and restoration projects including the representative work at the following historic landmarks:

The Alamo Church ca. 1744, San Antonio
Historic Structure Report 2016

The Alamo Long Barrack ca. 1728, San Antonio
Historic Structure Report 2016
*Roof Replacement 2015**

Gallagher Building ca. 1880, San Antonio
*Condition Assessment 2016**

Museum of South Texas History 1910, Edinburg
*Master Plan 2006**

French Legation Museum 1841, Austin
*Master Interpretive Plan 2016**
*Structural Stabilization 2012**

Brazoria County Hist. Museum 1891, Angleton
New Elevator & Hoistway 2017
*Structural Repair & Wdw. Restoration 2016**
*Historic Structure Report 2012**

Hirshfeld-Moore House 1885, Austin
*Roof Repair & Porch Restoration 2008**

Colorado County Courthouse 1891, Columbus
*Master Plan, Interior-Exterior**
*Restoration 2007-2016**

Thistle Hill 1906 & 1911, Fort Worth
*Accessibility Improvements 2015-2016 **

Thistle Hill 1906 & 1911, Fort Worth
*Accessibility Improvements 2015-2016 **

Immaculate Conception Cathedral 1857,
Brownsville - *Roof Stabilization 2012**

Levi-Jordan Plantation ca. 1848, Brazoria County
*Cond. Assessment & Meas. Dwgs. 2009**

Sutton County Courthouse 1891, Sonora
*Master Plan 2000 & Restoration 2005-2006**

Llano County Courthouse 1892, Llano
*Tower Reconstruction 2004-2005**

Val Verde County Courthouse 1887, Del Rio
*Exterior Restoration 2002-2003**

Donley County Courthouse 1891, Clarendon
*Master Plan & Restoration 1999-2004**

Texas Governor's Mansion 1856, Austin
*Porch Restoration 1999-2003**
*Fire Stabilization Roof Study 2008-09**

Dr. Eugene Clark Library 1899, and **Masonic Lodge** 1925, Lockhart - *Interior & Exterior Restoration 2001-2003**

Blanco County Courthouse 1916, Johnson City
*Master Plan 1999**

**Work completed during tenure at Volz O'Connell Hutson, Inc.*



**TRACY HIRSCHMAN
HUTSON**

Principal / Project Manager
& Architectural Designer

EDUCATION

University of Texas at Austin,
School of Architecture
Attended 1991-1995

Austin Community College,
Associates of Applied Science
in Engineering Design
Graphics

REGISTRATION

LEED AP BD+C

NCARB IDP

ARE Exam Candidate

AFFILIATIONS

National Trust for Historic
Preservation

Preservation Texas

Preservation Austin

USGBC Central Texas
Balcones Chapter

Girl Scouts of Central Texas,
Troop Leader

PROFESSIONAL CAREER

Tracy Hirschman Hutson is the founding principal of **Hutson|Gallagher**. She is the project manager for all the firm's work, and the principal that oversees HG's conservation division. She has over 25 years of experience in architecture, 17 dedicated to historic preservation. She was employed with Volz O'Connell Hutson, Inc. since 1999. She owned her own firm, providing a range of architectural services to her clients, including other local architects. Currently she is managing the interior and exterior restoration of the Museum of South Texas History's 1910 Historic Jail. Career highlight: she was the on-site preservationist at the Texas Governor's Mansion in the aftermath of the Mansion's 2008 fire, and was responsible for managing the material conservation work and assisting with the building's structural stabilization.

SPECIALIZED EXPERTISE

Ms. Hirschman Hutson has acquired detailed technical training and substantial experience in following areas:

- Historic structure reports and master plans
- Decorative paint and finish analysis
- Detailed building documentation and condition assessments
- Sustainable building design and conservation of materials
- Disaster recovery of historic building materials
- ADA / TAS Accessibility Standards
- Construction Administration
- Project management and production
- Construction Documents and CAD expertise

PRESERVATION EXPERIENCE

The Alamo Church ca. 1740, San Antonio
Historic Structure Report 2016

The Alamo Long Barrack ca. 1724, San Antonio
Historic Structure Report 2016

French Legation Museum 1841, Austin
Master Interpretive Plan 2016

Fulton Mansion 1874-77, Rockport
*Structural Stabilization & Exterior Restoration
and Systems Upgrades 2013-2016*

The Alamo Long Barrack ca. 1724, San Antonio
Roof Replacement 2015

Commodore Perry Estate 1928, Austin
Historic Finish Analysis 2014

Neill-Cochran House Museum 1854, Austin
Window Restoration 2014

Comal County Courthouse 1898, New Braunfels
Interior-Exterior Restoration 2010-2013

Texas State University Alumni House 1896,
San Marcos - Paint Analysis 2013

Tyler County Courthouse 1891, Woodville
Building Documentation 2013

Immaculate Conception Cathedral 1857,
Brownsville - *Roof Stabilization 2012*

African American Cultural Heritage Center
1893, Austin - *Historic Paint Analysis 2010*

Texas Governor's Mansion 1856, Austin
Historic Structure Report 2009-2010
Fire Stabilization 2008-2009
Deferred Maint. & Window Restor. 2007

Fayette County Jail 1881, La Grange
Existing Conditions Assessment 2008

Elisabet Ney Museum 1892, 1902, Austin *Master
Plan & Paint Analysis 2007*

Donley County Courthouse 1891, Clarendon
*Master Plan & Interior-Exterior Restoration
1999-2003*

Fayette County Courthouse 1891, La Grange
Master Plan & Restoration 1999-2005

Winedale Historic Complex 1890-1915,
Roundtop, *Building Documentation &
Condition Assessment 2002*

Littlefield Home and Carriage House 1893,
University of Texas at Austin *Facilities Plan
1999-2000*

St. Patrick Cathedral 1880, Fort Worth
Interior Restoration 1999-2001



**PATRICK
NICHOLSON**

Preservation Specialist &
Architectural Designer

EDUCATION

University of Texas at Austin,
Architectural Studies
In Historic Preservation
Attended 1997 - 2000

University of Texas at Austin,
Bachelor's of Fine Arts
In Studio Art

AFFILIATIONS

National Trust for Historic
Preservation

Preservation Texas

Preservation Austin

PROFESSIONAL CAREER

Patrick Nicholson is an associate of **Hutson | Gallagher**. He is a historic preservationist and architectural designer. He has over 22 years of experience providing architectural design services. He was previously employed with Volz O'Connell Hutson, Inc., and went on to own his own architectural design firm providing a range of architectural services. He was also formerly employed for over 10 years with Mann & Mann Architects. He is currently providing Historic Tax Credit and National Register nomination assistance to Museum of South Texas History's 1910 Old Hidalgo County Jail, and architectural design for the Old Hays County Jail restoration in San Marcos.

SPECIALIZED EXPERTISE

Mr. Nicholson has acquired detailed technical training and substantial experience in following areas:

- Historic American Buildings Surveys
- Detailed Building Documentation
- CAD Drafting and 3D Modeling
- Code and ADA/TAS Compliance
- ADA/TAS Accessibility Standards
- Construction Administration
- Project Management and Production
- Federal & State Historic Tax Credits
- National Register Nominations

PRESERVATION EXPERIENCE

Museum of South Texas History Old
Hidalgo County Jail 1910, Edinburg
*Historic Tax Credit & National
Register Nomination 2018*

Val Verde County Courthouse 1891, Del
Rio *Master Plan & Restoration 2003*

St. David's Episcopal Church 1854,
Austin *Building Documentation &
Moisture Monitoring Program 2003*

Donley County Courthouse 1891,
Clarendon *Master Plan &
Restoration 2000-2003*

Texas Governor's Mansion 1856, Austin
Porch Restoration 2000-2003

Llano County Courthouse 1892, Llano
*Master Plan & Interior-Exterior
Restoration 2000-2003*

Grimes County Courthouse 1894,
Anderson *Restoration 2003*

Fayette County Courthouse 1891, La
Grange *Master Plan & Restoration
2000-2003*

Old Taylor National Bank 1894, Taylor
Assessment & Documentation 2002

Sutton County Courthouse 1893, Sonora
*Master Plan & Restoration 2000-
2003*

Trinity Episcopal Church 1919, Houston
Masonry Restoration 2002

Austin Woman's Club 1891, Austin
Masonry Restoration 2002

Atlanta Grade Schoolhouse 1936, Atlanta
Assessment & Documentation 2001

Winedale Historic Complex 1890-1915,
Roundtop, *Building Documentation
& Condition Assessment 2002*

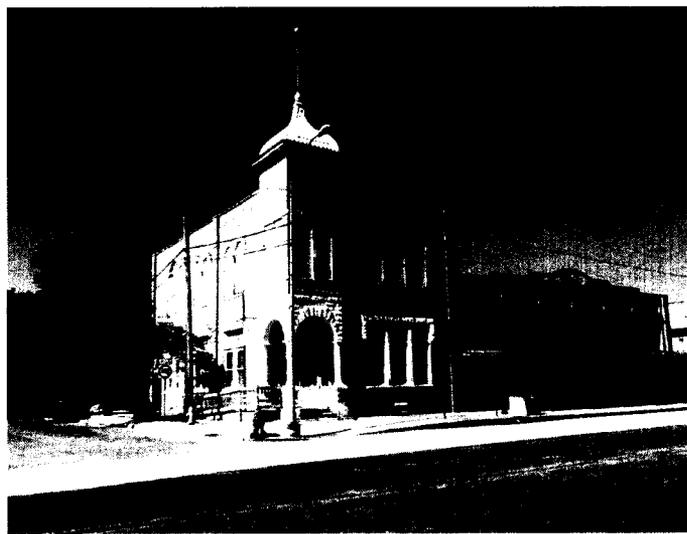
Dr. Eugene Clark Library 1899, Lockhart
Restoration 2001-2003

Clients and Projects *(project costs are included in the references section)*



Brazoria County Historical Museum

The Brazoria County Historical Museum is housed in the former county courthouse. Originally constructed in 1897, the building was substantially modified in the late 1920s. Past phases performed included a historic structure report, structural reinforcement and stabilization, plaster and stucco repair and replacement, historic window restoration, masonry repair and restoration, and roof and drainage system repairs, new elevator and improved accessibility. Currently, Hutson Gallagher is providing services for floor replacement and restroom ADA upgrades.



Old Granger City Hall

The Old Granger City Hall was originally built as a bank in 1909 and was used as City Hall beginning in 1929. Completed restoration work includes structural stabilization of the south masonry wall, which had lost connectivity to the remaining walls and was leaning outward. Work included restoration of historic brick masonry and installation of a new anchorage system. The City of Granger is currently seeking grant funding to begin additional phases of the restoration.



Museum of South Texas History: 1910 Hidalgo Jail

The HG team has provided the Museum of South Texas History with an array of long-term phased services that culminated to the full interior-exterior restoration of the historic 1910 Old Hidalgo County Jail. This restoration involved a substantial masonry conservation intervention, that included full floor replacement at the first floor and a structure-wide damp course to address severe rising damp issues. Now the building serves as an event and exhibit space.



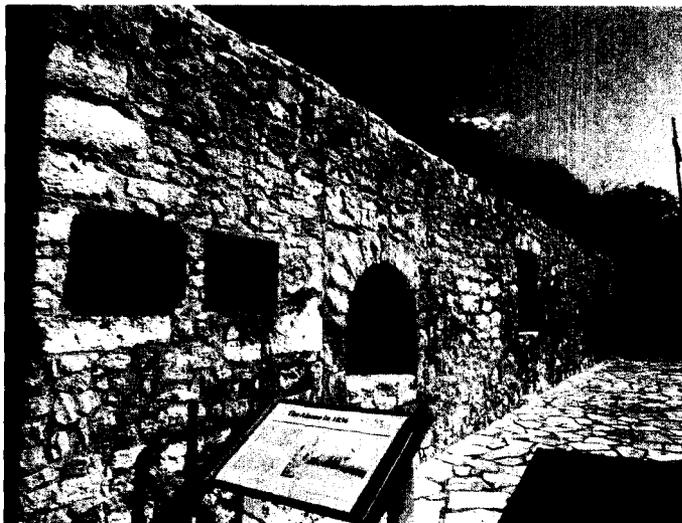
Colorado County Courthouse

Previous completion of a Master Plan for this 1891 courthouse helped Colorado County receive grant funding from the Texas Historical Commission for multiple phases of work. The final restoration phase, completed in 2014, included extensive masonry repairs, foundation waterproofing, replacement of cracked plaster, carpentry restoration, accessibility improvements, and installation of new mechanical, electrical, plumbing, and alarm systems.* Hutson Gallagher continues to provide consultation services for the Colorado County Courthouse for maintenance and repair. * Previous phases completed under VOH Architects.



The Alamo Church HSR

This was the largest most comprehensive Historic Structure Report ever commissioned in the State of Texas. This work required extensive analysis to address challenging masonry issues, structural assessment and testing, site drainage recommendations, conservation testing and included an evaluation of previous conservation efforts, recommendations for a monitoring assessment program, and project cost estimating for funding recently provided for its restoration. This HSR is the driving document leading the restoration currently underway.



The Alamo Long Barrack HSR

This was the second largest comprehensive Historic Structure Report ever commissioned in the State of Texas. This work also required extensive analysis to address challenging masonry issues, structural assessment and testing, conservation testing and included an evaluation of previous conservation efforts, recommendations for a monitoring assessment program, and project cost estimating for funding recently provided for its restoration. This HSR is also the driving document leading the restoration currently underway.

Unique Challenges

Museum of South Texas History

This 1910 jail was deteriorating due to severe rising damp, with ground water heavily saturated with salt, migrating up the walls as high as the second floor. This continuous cycle damages the masonry, the steel beams, mortar and plaster. To address this issue, Hutson|Gallagher, working with Pat Sparks, designed a through damp course system to halt the rising water and allow for the preservation of the historic masonry walls. This involved cutting through the masonry walls, inserting a steel plate within the walls, and then covering with plaster or stucco to match the original.

Immaculate Conception Cathedral in Brownsville*

The c.1859 church's original scissor truss roof system was on the verge of failure, requiring emergency shoring to allow the continued use of the cathedral, while investigative analysis was performed. The design solution included emergency structural support to prevent roof collapse, and the installation of a structural cabling system that reinforced the existing truss system, not only saving it but also bringing it up to present day code requirements.

Brazoria County Historical Museum Truss Repair*

The 1897 Brazoria County Historical Museum's trusses were structurally inadequate, one was sagging, and the wood elements imbedded in the masonry had rotted, requiring shoring, and extensive rot repair. All work was done without dismantling the existing ceiling, and the facility remaining in operation during the work.

Alamo Long Barrack Roof**

One of the substantial challenges while doing any sort of restoration work on the buildings in the Alamo Complex is the incredible visitor load that cannot be disturbed during the project, as well as the substantial historic importance of the building itself. The Long Barrack roof had water shedding issues that were creating leaks. The flashing at the parapet was historic rough stone, therefore a conventional roofing system would not flash to it. Chris Hutson worked with the manufacturer to design a highly customized detail without cutting the c. 1723 historic masonry.

Austin Community College Rio Grande Campus Restoration

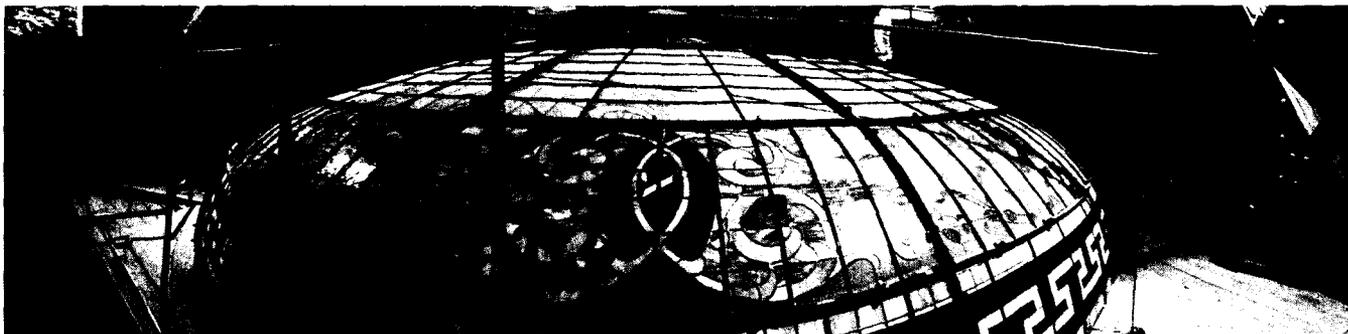
The 1915/1925 Old Austin High School is a large masonry building, a combination of brick and cast stone. There are several deterioration factors affecting the masonry currently, including areas of serious biological growth and unknown staining. HG undertook a testing regimen for the stone conditions requiring treatment, testing several techniques and products to find the best, most economical, environmentally friendly, yet effective treatment.

Colorado County Courthouse**

The 1890 Colorado County Courthouse had, through several renovations and additions, lost several important historic elements over the course of its history, including porch railings and other masonry elements. Chris Hutson oversaw the recreation of these missing elements based on historic photographs, that were able to help inform a detailed and accurate restoration based on research and historic record.

Palo Duro Canyon CCC Era Cabins

The 1930's CCC built Rim cabins at Palo Duro Canyon feature rustic stone fireplaces in their interiors. These fireplaces were, at some point in their history, painted with several layers of thick brown paint. Texas Parks and Wildlife asked HG to determine the best method for paint removal, and once it was decided on, Conservator Casey Gallagher conducted a training for park maintenance staff on the method, so that the park itself could conduct the work, as a cost saving strategy.



References: (Sample Client Letters on pages 11- 13)

- 1) Client Name: Colorado County
a. Project Description: Colorado County Courthouse Restoration*
b. Key Staff Members: HG: Chris Hutson, Tracy Hirschman Hutson
c. Client Project Manager Name: Judge Ty Prause
Telephone: (979) 732-2604
Email: ty.prause@co.colorado.tx.us

Final OPC \$5,306,083
Final Actual Cost \$4,963,460
Difference -6.5%

Summary: Project was value engineered after receiving less grant funds than requested through Texas Historic Courthouse Preservation Program (THCPP). Project budget was developed with cooperation from CM at Risk.

Contract Design Time - Estimated not listed
Contract Design Time - Actual 4 mo (modification of interior/exterior dwgs to interior only)

Note: *Project Completed while partner at Volz O'Connell Hutson, Inc. - Hutson/Gallagher continued to consult on historic window maintenance and repair, HVAC acoustic and project warranty issues

- 2) Client Name: Brazoria County Historical Museum
a. Project Description: New Elevator Design and Hoistway
b. Key Staff Members: HG: Chris Hutson, Tracy Hirschman Hutson
c. Client Project Manager Name: Jackie Haynes, Director
Telephone: (979) 864-1208
Email: director@bchm.org

Final OPC \$467,659.00
Final Actual Cost \$477,625.21
Difference 0.98%

Summary: The change orders included additional demolition associated with a thicker-than-anticipated vault wall, discovery of unsound plaster, and an owner requested change order for an add.

Contract Design Time - Estimated 3 mo
Contract Design Time - Actual 3 mo

- 3) Client Name: Museum of South Texas History
a. Project Description: 1910 Old Hidalgo County Jail Restoration



Colorado County, Texas

TY PRAUSE
County Judge

December 11, 2013

Ph. (979) 732-2604
Fax (979) 732-9389
ty.prause@co.colorado.tx.us

P.O. Box 236
400 Spring Street, Rm. 113
Columbus, Texas 78934

Janie Ramirez, Sr., Contract Manager
Infrastructure Division, Texas Parks and Wildlife Department
4200 Smith School Road
Austin, Texas 78744

RE: Letter of Recommendation for Chris Hutson,
Volz O'Connell Hutson

Dear Sir or Madam:

Colorado County began the restoration of our Historic Courthouse in 2009 with the great assistance of the architecture and design firm of Volz O'Connell Hutson.

It is my please to highly recommend and speak for the professionalism, dedication and highly qualified service of Volz O'Connell Hutson. Chris Hutson is a principal of the firm and his professional career as an architect and historic preservation and design specialist during the past years is replete with great accomplishments in these disciplines.

We are very fortunate to have had the benefit of Mr. Hutson's assistance and service during our restoration project of restoring our grand and historic courthouse, originally constructed in 1891.

I am honored to write this letter of recommendation on behalf of Chris Hutson and if I can provide any additional information please feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Ty Prause", is written over a horizontal line. The signature is stylized and somewhat cursive.

Ty Prause

From: [REDACTED]
Subject: Brazoria County Historical Museum
Date: October 3, 2018 at 4:18 PM
To: [REDACTED]
Cc: [REDACTED]



November 1, 2017

Chris Hutson, AIA
Hutson Gallagher, Inc.
1206 Quail Park Drive
Austin, TX 78758

Dear Mr. Hutson:

On behalf of the Brazoria County Historical Museum, I wish to express my sincere appreciation for the wonderful work recently accomplished by Hutson Gallagher, Inc. on the historic 1897 Brazoria County Courthouse: the installation of a new elevator and hoistway. As you know from our previous work experience together on this museum building, restoration of an historic structure can be a tedious and arduous undertaking; however, the resulting work product is well worth the time and effort. Once again, you and your dedicated staff have been an integral part in preserving the State of Texas' architectural and local history.

I also want to commend Hutson Gallagher, Inc. for its dedication to the project in general as well as its staff's willingness to accommodate the necessity of keeping the Museum open to the public during this phase of construction. Additionally, your sensitivity to the Museum's special budget requirements made this negotiated contract experience a successful and pleasant one.

Thanks once more to Hutson Gallagher, Inc. for working with the Brazoria County Historical Museum in its continued efforts to preserve the history of Brazoria County.

Sincerely,

Jackquelyn G. Haynes
Executive Director

This message has been prepared or disseminated using resources owned by Brazoria County and is subject to the County's policies on the use of County provided technology. E-mail created or received through the County's computer system by any County employee or official may be considered a public record, subject to public inspection under the laws of the State of Texas.

Reference Check For:
Hutson Gallagher, Inc.

Texas General Land Office: RFQ X0015482-AW
Professional Historical Architectural and Engineering Services
at the Alamo Complex, San Antonio, Texas

Museum of South Texas History, Edinburg, TX
Company providing reference

Mrs. Shan Rankin, Executive Director
**Name & position of person
providing reference**

Checked by: Suzanne Loy, GLO

956-383-6911
Phone # of person providing reference

1. What tasks did the company perform for you? Please briefly describe.

Chris Hutson prepared the master plan for the preservation of the museum's 1910 Jail. He and his firm have served as the architects on the renovation/preservation project, anticipated to conclude in December 2018. They have also worked with the museum in its application for Historic Tax Credits at the State and Federal levels.

2. Did/Does the company perform the tasks in a proficient manner? Did the company request additional payments beyond the original contract amount? If so, were these requests reasonable?

This firm is extremely proficient. To date, no additional payments beyond the original contract amount have been requested. In fact, I would say that our project is progressing extremely smoothly because of all the work that was done (in advance of beginning construction) to identify the things that will need to be done. Also, because the nature of the project is historic preservation/renovation, we have had very little in the way of owner decisions to make. We have relied on the firm's guidance.

3. Did the company perform their tasks in a timely manner, demonstrating appropriate decorum?

Yes, in a very timely manner. They are extremely professional, and we have thoroughly ENJOYED working with them.

4. Did/Does the company respond to problems promptly?

Yes—they also ANTICIPATE problems.

5. What is their quality of work on a scale from 1 – 10? (10 is the highest score)

Definitely a 10.

6. Would you use/work with this company again?

Without question, we would work with them again. They are knowledgeable, professional, capable, patient, and easy to work with. We feel very confident about following their advice and counsel. They are extremely pleased with our contractor, and our contractor is equally pleased with them.

Financial Letter* of Acknowledgement from Bank Manager:

*(*Note: The bank's printer ran out of blue ink, causing the Chase logo on the letter to become pink; we recommend calling the manager to verify the letter's authenticity if there are questions.)*



May 23, 2019

The Honorable Jacques L. Blanchette
Tyler County Judge
100 W. Bluff Street, Room 105
Woodville, Texas 75979

Re: Hutson Gallagher, Inc.

To Judge Blanchette,

Please accept this letter as bank verification that Hutson Gallagher, Inc. has been a client of Chase Bank since June 2016. They are an excellent customer and keep their account in good order. Please do not hesitate to reach back out to me at, 512-467-5780.

Sincerely,

A handwritten signature in black ink, appearing to read "Terry A Twomey". The signature is fluid and cursive.

Terry A Twomey
AVP, Business Relationship Manager

Financial Letter of Acknowledgement from Accountant:



Iain Howe, CPA & Associates, PLLC
11221 Blairview Lane
Austin, TX 78748
Ph: (512) 895-1231

May 23, 2019

The Honorable Jacques L. Blanchette
Tyler County Judge
100 W. Bluff Street, Room 105
Woodville, TX 75979

Re: Hutson Gallagher, Inc.

Dear Judge Blanchette:

I am writing to you at the request of Mr. and Mrs. Chris and Tracy Hutson, co-owners of Hutson Gallagher, Inc., a for-profit corporation organized under the laws of the state of Texas.

This letter is to confirm that I personally prepared or reviewed the business and personal tax returns for Mr. and Mrs. Hutson, as well as the corporate tax returns for Hutson Gallagher, Inc. for the past few years.

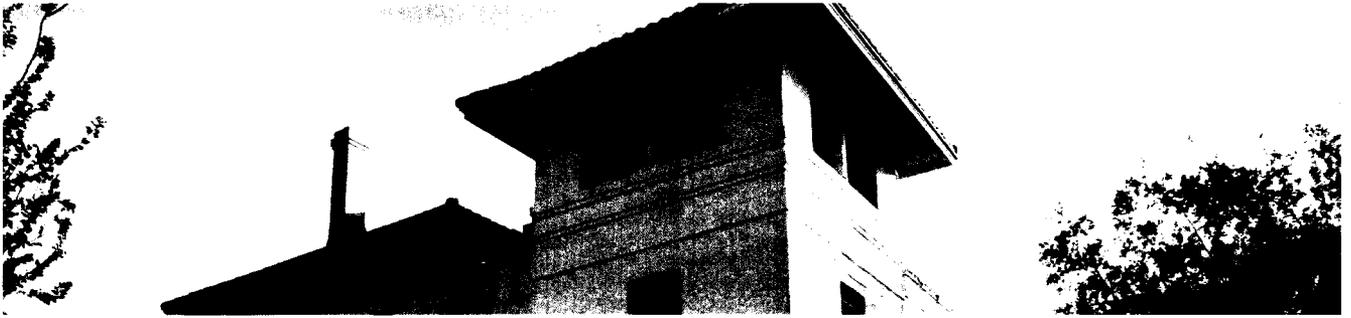
Mr. and Mrs. Hutson provided me with a signed and dated copy of IRS Form 8879, which includes a declaration that they examined a copy of their electronic individual and corporate income tax returns and accompanying schedules and statements for each tax year and declared that they are true, correct and complete to the best of their knowledge and belief.

The returns were prepared from information furnished to me by Mr. and Mrs. Hutson. This information was neither audited nor verified by me, and I make no representation nor provide any assurance regarding the accuracy and completeness of this information, or the sufficiency of the tax returns, as it relates to your decision to extend credit to, or make any other determination regarding, Mr. and Mrs. Hutson or Hutson Gallagher, Inc. or any other persons or entities.

Please let me know if I can assist in any other manner.

Very truly yours,


Iain Howe, CPA



Insurance:

Hutson|Gallagher carries professional insurance through USI Southwest, Inc. and supplemental policies through The Hartford. These policies meet or exceed required insurance coverage for architectural firms in the type and amount as follows:

Professional Liability Insurance	\$1 million/\$2 million aggregate
Commercial Automobile Liability	\$1 million/\$1 million aggregate
Commercial General Liability	\$1 million/\$2 million aggregate
Umbrella Insurance	\$5 million/\$5 million aggregate
Workers Comp & Employer Liability	\$1 million/\$1 million aggregate

Hutson|Gallagher's Certificate of Insurance attached on the next page.

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
 2/04/2019

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer any rights to the certificate holder in lieu of such endorsement(s).

PRODUCER USI Southwest 9811 Katy Freeway, Suite 500 Houston, TX 77024 713 490-4600		CONTACT NAME: PHONE (A/C, No, Ext): 713 490-4600 FAX (A/C, No): 713-490-4700 E-MAIL ADDRESS: ADDRESS:	
		INSURER(S) AFFORDING COVERAGE	NAIC #
		INSURER A : Sentinel Insurance Company Ltd	11000
		INSURER B : Twin City Fire Insurance Company	29459
		INSURER C : XL Specialty Insurance Company	37885
		INSURER D :	
		INSURER E :	
		INSURER F :	

COVERAGES **CERTIFICATE NUMBER:** **REVISION NUMBER:**

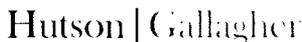
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR	WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			61SBMIR3889	07/20/2018	07/20/2019	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$1,000,000 MED EXP (Any one person) \$10,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COM/OP AGG \$2,000,000 \$
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY			61SBMIR3889	07/20/2018	07/20/2019	COMBINED SINGLE LIMIT (Ea accident) \$1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$10000			61SBMIR3889	07/20/2018	07/20/2019	EACH OCCURRENCE \$5,000,000 AGGREGATE \$5,000,000 \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		Y/N Y N/A	61WBCAA4UUT	08/22/2018	08/22/2019	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$1,000,000 E.L. DISEASE - EA EMPLOYEE \$1,000,000 E.L. DISEASE - POLICY LIMIT \$1,000,000
C	Professional Liab Claims Made Pol.			DPS9807551 Retro: 07/01/16	07/01/2018	07/01/2019	\$1,000,000 per claim \$2,000,000 annl aggr.

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

**** Workers Comp Information ****
Proprietors/Partners/Executive Officers/Members Excluded:
 Chris Hutson, Officer
 Tracy Hutson, Officer
 The Gen Liab. and Auto Liab. policy includes an automatic Additional Insured endorsement that provides
 (See Attached Descriptions)

CERTIFICATE HOLDER	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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Statement of Qualifications

for

Architectural or Engineering Services

For

Tyler County Courthouse

Woodville, Texas

Remedial Measures

Due Date:

June 4, 2019

 **Mark A. Thacker, AIA**
Commercial & Preservation Architecture

PO Box 2612
P 903.595.2656

Lindale, Texas 75771
Email mark@markathacker.com

*Public Notice and Request for Qualifications
For
Architectural or Engineering Services*

**Tyler County Courthouse
Woodville, Texas
Remedial Measures**

 **Mark A. Thacker, AIA**
Commercial & Preservation Architecture

Mark A. Thacker, AIA
Commercial & Preservation Architecture
appreciates the opportunity to provide preservation
architectural services to Tyler County.

Following contains our response to the RFQ

Table of Contents

- Introductory Letter
- I. The Firm
- II. Principal Business
- III. Officers of the Firm
- IV. Professionals
- V. Clients & Projects
- VI. Challenges
- VII. References
- VIII. Insurance
- IX. Miscellaneous

Introductory Letter

Mark A. Thacker, AIA ~ Commercial & Preservation Architecture was opened with the continuing belief that providing highly personalized professional services for each & every client should be first and foremost in the mind of the architect. Mark A. Thacker, AIA, *Commercial & Preservation Architecture* opened on March 1, 2015. Mark Thacker has over 25 years of architectural experience. Mark has led project teams, been a partner in a large successful architecture firm, and is now, with the inception of Mark A. Thacker, AIA, continuing to provide the qualities that he believes are important to clients ... *personalized professional services*.

Mr. Thacker is directly responsible for all client communication, contacts, site layout, building design, building construction document detailing, presentations, meeting notes, cost estimating, specifications, shop drawing review, interior designs, construction administration, close-out and one-year review. Mark is *directly involved in all facets of your project*.

The hallmark of all Mark A. Thacker, AIA projects is Mr. Thacker's hands-on involvement, his attention to detail, and working from start to finish without the handing off of responsibilities to others.

The projects where Mark has been Principal-in-Charge or Project Architect within the past 25 years have proven that creative quality design and service can be achieved within reasonable budgets. His experience, in providing necessary and desired building elements has created a more efficient consultancy and 85% of his workload is derived from repeat clients. Mark has built a reputation on his ability to deliver professional architectural services to his clients *on schedule and within budget*.

Mark has extensive experience in relation to existing buildings. His knowledge of previous construction materials and methods has *proven to provide financial benefits* to his clients.

COMMITMENT

Our firm's commitment is to give our client's a quality job that is done right and to the client's expectation and satisfaction. We respond quickly, efficiently and with the knowledge needed for a successful project.

We work diligently to stay abreast of bidding trends and project costs which will apply directly to our client's projects. We believe the word *deadline* means the date and time a project is delivered to the client, not the target date. We take the words *project budget* and *schedule* seriously. We believe that because of our determination to provide quality and timely projects, we have enjoyed a long line of repeat business from satisfied clients and those clients then refer us to others.

We are committed to providing personalized, quality services to Tyler County.

We're proud of the work we do for our clients and the positive impact our projects have on the communities in which they live. We hope that we can help you make your rehabilitation project a reality.

Mr. Thacker is the person authorized to represent consultants and to sign any contracts.



Mark A. Thacker, AIA

I. The Firm

**Company Name: Mark A. Thacker, AIA ~ *Commercial & Preservation Architecture*
Sole Proprietorship**

By: Mark A. Thacker, AIA

Title: Owner/ Architect

**Address: 203 South Henry
Lindale, Texas 75771**

**Mailing: PO Box 2612
Lindale, Texas 75771**

Telephone: 903-595-2656

E-Mail: mark@markathacker.com

Brief History of the Firm (size of firm/ staff):

Mark Thacker, AIA *Commercial & Preservation Architecture* was created in March 2015 by lifelong East Texan, Mark Thacker. Mark had been a partner in a large Tyler firm for about 19 years handling the majority of preservation projects. That firm closed in February 2015. With the creation of a new firm bearing Mark's name he could then focus on true preservation projects as well as rehabilitation, adaptive re-use and renovation projects. Mark has enjoyed practicing preservation architecture as a sole proprietor; a hands-on approach, and directly involved with all aspects of a project from inception to completion.

For a limited scope project such as the Tyler County Courthouse, the project may not demand a large A/E firm with a multitude of staff. This may not be a project for a large firm which could pass it down to inexperienced interns. Mark A. Thacker, AIA is a firm which will ensure maximum personal service from beginning to completion. We maintain an A+ rating with the Better Business Bureau, have a 5 star rating on Facebook, and hold membership with the Lindale Chamber of Commerce.



Before



During Rehabilitation

Rehabilitation of ca. 1890's residence to become the office of Mark A. Thacker, AIA in downtown Lindale. Anticipated completion end of June 2019.

II. Principal Business

Types of architectural/ engineering projects Mark has been involved with:

Courthouses:

Titus County Courthouse (while with BWR): Installation of elevator and minor interior renovations.

Van Zandt County Courthouse (while a partner with SWA): Schematic design for removal of jail cells on the upper floor and conversion of space to district Attorney suite.

Leon County Courthouse (while a partner with SWA): Full restoration of 1886 Courthouse.

Madison County Courthouse (while a partner with SWA and as owner of Mark A. Thacker, AIA): Re-roofing and interior renovations.

Robertson County Courthouse (while a partner with SWA): Full restoration of 1881 Courthouse reversing 1921 modifications.

Old Blanco County Courthouse (as owner of Mark A. Thacker, AIA): Replacement design for terne metal roof.

Smith County Courthouse (as owner of Mark A. Thacker, AIA): Interior renovations including public restrooms.

Active Courthouses are a special project type with many inherit challenges. Security, public safety, parking, noise control, dust control, debris removal, material staging are just a few issues an architect must address, all while the Courthouse remains functional for conducting public business.

Every Courthouse is different in terms of physical design and functionality; our plans and specifications are developed specific to the project. We devote extra attention to investigation tasks, documentation, and the communication of existing conditions; this to include accurate notes and detailing. The result is a reduction in guess work by Contractors and subcontractors when bidding and during construction.

Mark has enjoyed a pleasant professional working relationship with staff of the Texas Historical Commission for over 25 years. Mark works for the Client, not the THC, the Clients project goals along with an understanding of the Secretary of the Interior Standards for Rehabilitation forms the basis of approach with the THC. The last few years of grant projects submitted to the THC for review have been approved with no changes or comments.

It would be our pleasure to work with Tyler County!

III. Officers of the Firm

Mark A. Thacker, AIA

Firm Name: Mark A. Thacker, AIA *Commercial & Preservation Architecture*

Position: Owner

Address: PO Box 2612

Lindale, Texas 75771

Phone: 903-595-2656

Cell: 903-316-2194

Email: mark@markathacker.com

Facebook: Mark A. Thacker, AIA

Mark Thacker has been a principal with one of the largest firms in East Texas for almost 20 years. With the formation of Mark A. Thacker, AIA, *Commercial & Preservation Architecture*, Mark has returned to his roots, Client interaction. Years of having a staff of up to 18 persons, Mark found himself more of a personnel manager and less of an architect. It became a struggle to be hands on with projects and maintain a productive office.

With the formation of Mark A. Thacker, AIA in March of 2015, a return to values such as, client interaction, hands-on project production, and involvement during the construction phase has been a true blessing.

Mark has been married to his wife Dana for 33 years and now has the pleasure of working side by side with her. Dana manages the financial aspects of the firm while Mark can focus on Clients and architecture.

We strive to give back to the community. Mark has taught historic preservation at the University of Texas at Tyler, is guest speaker at local preservation events such as Main Street Palestine, and serves on several boards such as the Smith County Historical Society. He is also a member of the Texas Archeological Stewards Network (a program of the Texas Historical Society). The Thacker team has won awards such as the City Preservation Award by Historic Tyler, Inc. last year.



IV. Professionals

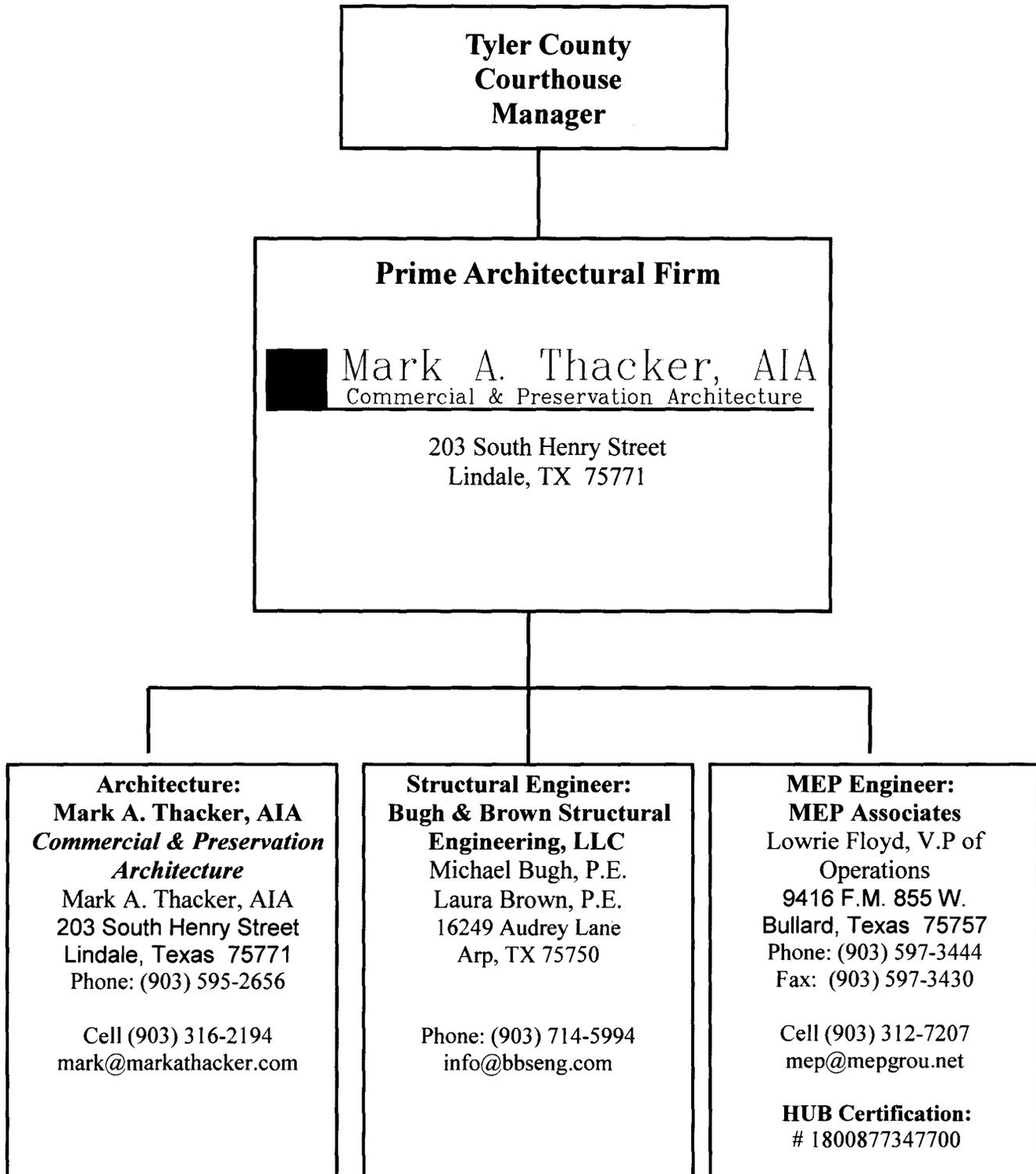
It takes a team of professionals to produce a successful architectural project. Just what is a successful architectural project? According to Clients they are the ones where the Architect has stepped up to the plate and went to bat for the Client.

How does that happen? It happens when a team works together. The architect should be in constant communication with the client and lead other members of the team. Mark A. Thacker has a long track record of working with typical engineering team members including Structural, Electrical and Mechanical.

For a typical restoration project, structural components are to be hidden from view. Electrical items such as light fixtures are selected by the architect to compliment the building style. Mechanical systems such as plumbing and air conditioning are hidden and usbital, it is up to the architect just hoe to conceal those items.

IV. Professionals

- * Mark A. Thacker is involved in all aspects of each project.
- * Michael Bugh, PE (BBSE) and Mark A. Thacker have over 27 years of experience working together.
- * Lowery Floyd (MEP Associates) and Mark A. Thacker have over 17 years of experience working together.
- * Recent projects with these firms include: Marshall Library, Leon County, Madison County, and Winona ISD Renovations



IV. Resumes of Professionals

Mark A. Thacker, AIA:

Years of service with firm: 4 years

Education: Bachelor of Environmental Design, 1986, Texas A&M University

Mark A. Thacker, AIA Commercial & Preservation Architecture is a relatively new firm, it began operation in March of 2015. The firm was founded with the purpose of providing client's personal service from project beginning to completion.

Mark began his professional career with Bucher, Willis & Ratliff (BWR), a national engineering and architectural company with a branch office in Tyler. Mark spent a few years working under the civil and structural departments. As the architectural department began to grow Mark provided a link between architecture and engineering disciplines. By 1990 Mark was assigned to the architecture department on a full time basis but continued to assist engineering.

Mark earned his architectural registration in 1994, this allowed him to be involved in all aspects of the field. As project architect, he led various teams to complete indefinite quantity projects with the U.S. Postal Service, Red River Army Depot, TxDot and the Texas Army National Guard. Projects also included educational, municipal and industrial.

After 8 years with BWR Mark was presented an opportunity to join Sinclair & Wright Architects, a local architectural firm established in 1974. From 1996 to 1998 Mark served as project architect, then in the spring of 1998, was named the first new partner in the firm. As the firm grew from a staff of 4 to 18, Mark found himself more of a business manager than architect.

Mark was able to continue to provide personal service to his clients but it came with long hours and was frequently a struggle to balance projects with running a business. Sinclair & Wright Architects closed in February 2015 and **Mark A. Thacker, AIA; Commercial & Preservation Architecture** was formed. This allowed the new firm to reflect a single person's involvement in a project, reflect one individual's principals, and to provide the client with single source personal service.

Mark A. Thacker, AIA; Commercial & Preservation Architecture is founded on these basic principles:

- Of treating people fairly and with respect.
- Upholding a high standard of ethics, not only of the architectural profession, but of myself as a person.
- To provide quality architectural services through hard work and attention to detail.

Mark A. Thacker, AIA is uniquely qualified for the Tyler County project:

*Is an owner of a one person firm who will be directly involved in all aspects of a project.

*Is one of less than 125 persons Statewide serving as a steward in the Texas Archaeological Stewardship Network, a program of the Texas Historical Commission assisting local private property owners with archaeological issues and historic architecture.

*Is the only architect in East Texas who is consistently involved in historic and preservation projects.

IV. Resumes of Professionals

Mark A. Thacker; Resume:



Mark A. Thacker, AIA

Owner / Architect

Mark A. Thacker, AIA ~ *Commercial & Preservation Architecture*

Mr. Thacker opened Mark A. Thacker, AIA in March 2015.
Prior to opening his own firm, Mark was a partner with
Sinclair & Wright Architects from 1996 to February 2015.

Education

Bachelor of Environmental Design, 1986, Texas A&M
University
Associate of Arts, 1982, Tyler Junior College
Associate of Applied Science, Drafting, 1980, Tyler Junior
College

Professional Registration Registered Architect—State of Texas, AIA Registration
#14799

Historic Building Experience

Robertson County Courthouse 1881 (Franklin) RTHL, SAL, NR
Leon County Courthouse 1886 (Centerville) RTHL, SAL, NR
Alamo Elementary School 1915 (Palestine)
Freestone County Jail 1857 (Fairfield) RTHL
Old Blanco Courthouse 1886 (Blanco) RTHL, SAL, NR
Leon County Jail 1894 (Centerville) SAL
Leon County Jail 1913 (Centerville) SAL
Moody – Bradley House 1860 (Fairfield) RTHL
City of Nacogdoches CVB 1917(Old Nacogdoches Post Office) nom. NR/Criterion C
Robertson County Jail 1880 (Franklin) SAL
Former Jacksonville Main Post Office 1933 (Jacksonville)
The Stinson House 1869 (Quitman)
Spencer Hardware Building 1925 (Athens)
Caldwell Elementary Arts Academy 1924 (Tyler)
Harvey Residence 1908 (Pittsburg)
James S. Hogg Middle School 1917, 1924 (Tyler)
Smith County Historical Society/ Old Carnegie Library, 1904 (Tyler) NR, SAL
The Blackstone Building 1938 (Tyler) NR
City Auditorium 1930-35 (Henderson)
Goodman-LeGrand House 1859/1880/1924 (Tyler) NR
Gregg County Museum 1910 (Longview) RTHL
Mt. Vernon AME Church 1921 (Palestine) NR
Hogg Honeymoon Cottage 1874 (Quitman)
Dixie Service Station 1931(Joinerville)
Marvin United Methodist Church 1890, 1923, 1942 (Tyler) RTHL
Howard-Dickinson House 1855, 1905 (Henderson)

IV. Resumes of Professionals

Mark A. Thacker; Resume:

Mark A. Thacker, AIA;

Historic Building Experience, continued...

Julius Pabst Building 1888 (Tyler)
Jones Farmhouse 1930 (Lindale)
Wheelock Community Center, former schoolhouse (Wheelock)
Chilton-Taylor House 1888 (Tyler)
Dr. Brach Residence 1920 (Tyler)
Robinson Residence 1935 (Palestine)
Pine Springs Baptist Church 1949 (Tyler)
USPS Crockett
Marmen Residence 1929 (Fairfield)
City of Crandall – Main Street (Crandall)
City of Tyler – Main Street (Tyler)
Texarkana I.S.D. – Historic Campus Study (Texarkana)
City of Nacogdoches – Commerce Street Study
Cherokee Christian Academy 1930 (Rusk)
Gregg County Petroleum Building Study (Longview)
Tyler Ice House 1917 (Tyler)
Tyler I.S.D., Caldwell Park 1924 (Tyler)
Emmett Scott Study/Grant Assistance 1922, 1930, 1945 (Tyler)
Tyler Museum of Art (Tyler)
Tyler I.S.D., Jim Plyler Instructional Center 1940 (Tyler)
Baptist Church, Kilgore, 1920, 1949
Alley-Carlson House, 1859 NR
Perkins Building, Marshall, 1915
Mineola Community Bank, ca. 1920-1930; 5 historic buildings (Mineola)
St. Paul UMC, 1910, Calvert
Composing Preservation Standards, City of Tyler
1421 S. College Residence, 1930 (Tyler)
W.L. Garrett Building, 1890 RTHL (Pittsburg)

Section 106 Experience

Gladewater Main Post Office (Gladewater)
Camp Ford Historical Site, Smith County (Tyler)
Trinity Main Post Office (Trinity)
Longview Main Post Office (Longview)

IV. Resumes of Professionals

Mark A. Thacker; Resume:

Mark A. Thacker, AIA continued

Renovation/ Rehabilitation Experience

Leon County Probation Office
Leon County Community Health
Madison County, Madisonville
Mt. Pleasant Courthouse, Interior Renovations
Titus County Courthouse, Renovations
City of Tyler, Rose Garden East Bridge
City of Tyler, Rose Garden East Gazebo
City of Nacogdoches, Fire Station Remodel
City of Palestine, Library Renovations
City of Palestine, Civic Center Renovations
City of Palestine, Public Works Warehouse Renovations
City of Van, City Hall ADA Review
Cameron-J. Jarvis Troup Municipal Library
The Landmark, Jacksonville
ETA Global, Palestine
Children's Advocacy Center, Addition
Pollard United Methodist Church, Tyler
Marvin United Methodist Church, Tyler
Green Acres Baptist Church, Tyler, Missions Department
Green Acres Baptist Church, Discover Life Ministry Facility
Green Acres Baptist Church, Column Replacement of Children's Building
Pine Springs Baptist Church
St. Paul Ministries, Dental Office
Blacksheep Industries, Tyler, Addition & Remodel for accessibility
Caldwell Zoo, Tyler
Top Fun, Longview, Phase III Design Assistance
Mineola Community Bank, Home Office Renovations
Gilmer Savings Bank, Renovations
Good's Pharmacy, Renovations
Alliance Data Systems (*now Convergys*)
Will Broderick Barn, Upshur County
Mr/Mrs Giles Residence, Lindale
Mr/Mrs Harvey Residence, Pittsburg
Rice/Rogers Residence
Leverett's Chapel I.S.D.
Tyler I.S.D., Caldwell Elementary School
Tyler I.S.D., Robert E. Lee High School, Building M
Tyler I.S.D., Plyler Instructional Complex
Tyler I.S.D., Various Campuses—Reroof
Winona I.S.D., Various Campuses
Department of Public Safety, Palestine
Department of Public Safety, Tyler

IV. Resumes of Professionals

Mark A. Thacker; Resume:

Mark A. Thacker, AIA continued

Renovation Experience, continued...

United States Postal Service (USPS)-Various Locations included, remodel, expansions, reroof, studies
Cameron - J. Jarvis Troup Municipal Library, Troup
City of Marshall Public Library Renovation, Marshall

New Facility Experience

Cherokee County JP Office, New Summerfield
City of Coffee City ~ New Community Center
City of Whitehouse ~ City Hall/Police Department
Leon County Annex
Leon County Expo
Leon County Veterans Memorial
Mineola Autoplex Dealerships
Rose City Sporting Clays
YMCA, Whitehouse
Freestone County Historical Museum
Northeast Texas Rural Heritage Center & Museum, Pittsburg
Good's Pharmacy, Tyler
Morrow Branch Library, Mt. Enterprise
St. Paul Ministries—Food Pantry/Offices
Pilgrim's Pride, Prayer Chapel
Cypress Bank, Pittsburg
Citizens State Bank, Tyler
Bank of Tyler
Mineola Community Bank, Grand Saline
First Federal Savings, Gilmer
Citizens State Bank, Mabank
Citizens State Bank, Athens
Texas A&M Commerce—Alumni Facility
Winona I.S.D., High School
Arp I.S.D., High School/Administrative Offices
Arp I.S.D., Fencing
Cameron I.S.D., Concessions
Blooming Grove I.S.D., Band Hall, Classrooms & Ag Science facility
Texas A&M University - Texas Veterinary Medical Diagnostic Lab - Poultry Lab, Center
Freestone-Navarro BiCounty Coop—Administrative Building
Residence, LEED certified Platinum
Mineola Community Bank - Remote ATM facility
Leon County Expo - New north entry
Haberlee Office Complex, Jacksonville

IV. Resumes of Professionals

BBSE, Michael Bugh, PE: Structural Engineering

Name of Firm: Bugh & Brown Structural Engineering, LLC
Business Address: 16249 Audrey Lane, Arp, Texas 75750
Phone : (903) 714-5994
Alternate Phone: (903) 204-6983
E-mail Address: info@bbseng.com

Bugh & Brown Structural Engineering, LLC is a structural engineering design firm based in the Tyler, Texas area. The firm's principal engineers, Michael Bugh, PE and Laura Brown, PE, have experience in the structural analysis and design of commercial, industrial, educational, municipal, and religious facilities, as well as, in conducting forensic investigations and performing structural due diligence.

Our goal is to provide clients with economical and innovative structural solutions for their building design needs. We understand the importance of communication and coordination throughout the design process and we are dedicated to providing quality products to our clients.

Mark A. Thacker has worked with Michael Bugh over the last 25 years on numerous projects. Michael and Laura have provided valuable assistance with restoration, renovation, and remodel projects throughout East Texas and do understand the complexities of working with existing conditions. BBSE provides structural engineering services required for almost all Mark Thacker's projects.

IV. Resumes of Professionals

BBSE, Michael Bugh, PE: Structural Engineering

Bugh & Brown Structural Engineering, LLC (BBSE) — Structural Engineer

Together, Michael Bugh and Laura Brown, have over 25 years of combined experience in the field of structural engineering.

Example of projects:

- Cherokee County Justice of the Peace Building
- Jacksonville Nichols Green Park*
- City of Marshall—Civic Center Renovations*
- Harrison County Courthouse Restoration, Marshall
- Leon County Annex, Centerville
- City of Tyler
 - Fire Station # 7 & # 10
 - Renovations to Tyler City Hall
- City of Longview
 - Addition to Fire Stations # 2 & # 3
 - Fire Station # 4 & # 6
- Texas Parks & Wildlife—Visitor's Center*
- Paris Junior College—Dormitory Phase I*
- McMillan Library, Overton*
- Delek Refinery—Office & Warehouse*
- Children's Park, Tyler*
- Faulkner Park, Lindale*
- Fair Park, Dallas*
- Fair Park, Games Warehouse*
- Fair Park, Musical Hall Roof Repairs*
- Salvation Army*
 - New Lodge Building (Two-story 45,000 SF)
 - Food Warehouse & Multipurpose Buildings (12,875 SF)
 - Administrative Offices (Remodel of One-Story 5,000 SF)
 - Chapel (Remodel of Two-Story 13,300 SF)
- Oxford Aviation—Flight Training Facility, Pounds Field*
- TxDOT*
 - Coke County Rest Area
 - Travel Center, Amarillo
 - Travel Center, Gainesville
 - Perkins Building, Marshall
 - Kress Building, Texarkana

*while with another firm

III. Resumes of Professionals

Lowrie Floyd & Jerry Godfrey, PE: Mechanical & Electrical Engineering

Name of Firm: MEP Associates Design Group, Inc.

Business Address: 717 West Houston, Tyler, Texas 75702

Phone : (903) 597-3444

FAX: (903) 597-3444

Cell: (903) 312-7207

E-mail Address: mep@mepgroup.net

HUB Certification: # 1251899213100

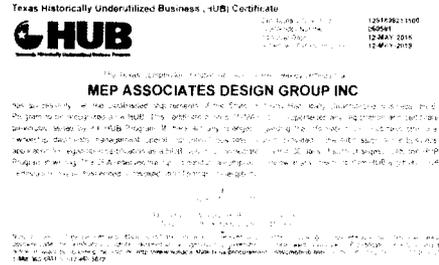
Years in Business: 2001 -2015 Incorporated in
 Pennsylvania S-Corp - Franchised in Texas
 1997-2001 Previous entity - Design Group Ltd.
 1994-1997 Previous entity - Drafting and Design Engineering

Texas Engineering Firm: F-6873

Employees:	Engineers	2
	Project Managers	3
	Administrator	1
	Clerical	1
	Drafting (part-time)	1

- Services: General
- Building System Evaluations
 - Code Compliance Reviews
 - System Feasibility Studies
 - System Upgrade Analysis
 - System Repair Analysis

- Mechanical Design
- Heating
 - Ventilation
 - Air Conditioning
 - Hot & Chilled Water Systems
 - Boilers
 - Air Handling & Distribution
 - Exhaust Systems
 - Medical Gases
 - Energy Recovery Systems



IV. Resumes of Professionals

Lowrie Floyd & Jerry Godfrey, PE: Mechanical & Electrical Engineering

MEP Associates Design Group Inc. is a full-service, in-house local design firm. Lowrie Floyd, Director of Operations, has provided efficient engineering design for a full array of commercial businesses for over 20 years through MEP Associates and the previous companies he directed in Pennsylvania. He has directed projects for a vast array of commercial entities including nursing homes and assisted living facilities, all levels of educational facilities from pre-school through college, churches, hospitals, medical facilities, retail businesses, restaurants, hotels, shopping centers, offices, factories, warehouses, industrial facilities and apartments.

The firm has extensive experience in working with publicly funded projects: city and county funded projects include swimming pools, municipal water facilities, fire stations, animal shelters, public offices, detention facilities and parks. They also have extensive experience with historical, adaptive reuse, additions, renovations and structural retrofit for projects in both Texas and Pennsylvania, as well as new construction. They have designed systems for projects in several states, which requires a broad knowledge, and increased ability to analyze and apply local and state codes and regulations as well as knowledge of federal and international code requirements for specialized projects, such as nursing homes as well as general projects.

Lowrie Floyd and Jerry Godfrey, Director of Engineering, both have many years of field experience which enhances MEP's ability as an engineering firm to provide superb on site evaluation of existing mechanical, electrical and plumbing systems currently in place. This is crucial in renovation as well as new construction projects which replace, coexist or tie in with current systems. This ability has provided our clients with value engineering services that has saved them an extensive amount of time and resources.

Their previous work as contractors in the mechanical and electrical fields uniquely qualifies them to understand engineering design from the practical point of view of construction services provided by specialized contractors and installers. They both understand the mindset and needs of contractors and are well equipped and willing to communicate and to facilitate communication between contractors, designers and owners to resolve problems that arise during the planning and construction process.

The firm has a long history of focusing on the needs of our clients, which includes not only working directly with owners but also providing MEP design as a consultant and serving as a team member with numerous architects and construction companies. They have worked with several clients as an engineering consultant, including Brannon Corporation, UT Health Northeast, Michael Barham Architects, Mark Thacker, Architect and E.G. Stoltzfus and Tippets Weaver Architects for whom they provided engineering design for federally funded PHFA housing projects.

IV. Resumes of Professionals

Lowrie Floyd & Jerry Godfrey, PE: Mechanical & Electrical Engineering

The diversity of experience and the capabilities of our personnel enable us to provide Complete Design, Drawings, and Specifications for all phases of Mechanical, Electrical, and Plumbing Systems from the initial site evaluation through construction completion. Regardless of who we are working for, they believe in utilizing logical and practical thinking throughout the entire design process, in order to produce an efficient and cost effective, state-of-the-art technological solution.

MEP Associates Design Group—*Mechanical/Electrical Engineer*

During the past several years, MEP Associates Design Group, Inc. has provided the MEP engineering design for various architects and owners on projects. Current employees who worked on these projects include Jerry Godfrey, P.E., Lowrie Floyd VP of Operations, and Scott Aisenbrey, Level I Project Managers and Draftsmen.

Example of projects:

- Madison County Courthouse Renovation
- Mt. Joy Township Public Offices
- Leon County Expo Facility
- Tyler Neighborhood Services Public Offices
- Bethesda Health Clinic
- Winona I.S.D.
- Arp I.S.D.
- Van I.S.D.
- Winnsboro I.S.D.
- Mount Enterprise I.S.D.
- Warwick Middle School
- Brownstown Vo-Tech
- Mt. Joy Vo-Tech
- University of Texas @ Tyler
- Texas College, Tyler
- Tyler Junior College
- Parisport Sports Complex
- Tyler Faulkner Park
- Lindale Faulkner Park

Mark A. Thacker has worked with Lowrie Floyd and Jerry Godfrey for about 10 years. MEP Associates Design Group provides mechanical and electrical engineering services required for almost all Mark Thacker's projects.

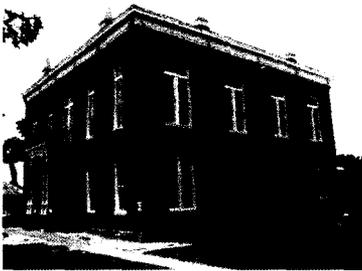
V. Clients and Projects

Leon County Courthouse; project cost approximately \$2,020,000

The Leon County Courthouse is one of about 80 remaining courthouses which are constructed prior to the turn of the 20th century. The Texas Historical Commission began a Courthouse Restoration Program in 1999 based on House Bill (HB) 1341. Since its implementation over \$ 100 million has been directed towards the preservation of Texas Historic Courthouses. The Leon County Courthouse is of “transitional” style from the mid-19th Century Greek Revival to the late 19th Century Italianate. The two-story masonry structure contains a total of 7,485 SF and was restored to a period of 1910.



The project began in 2000 upon completion of a historic restoration Master Plan. Mark Thacker conducted an extensive investigation of existing conditions, as well as, a search of historic documents and photographs dating back to the 1850's. The Master Plan resulted in recommendations for specific restoration issues, schematic drawings and descriptions of proposed alterations, future use and associated costs. It also included possible phasing of project components and potential construction costs. The project was not funded until Round IV of the THC Courthouse Restoration Program in 2005. Leon County did receive emergency funding in Round III.



In 2001 the Texas Historical Commission authorized Mr. Thacker to proceed with preparation of plans and specifications. The plans and specifications were approved and the project was funded.



Demolition work included removal of landscaping adjacent to the building's exterior walls, removal of non-period soffits, portico facings and asbestos abatement. Structural repairs were made to the roof structure, bearing walls, subflooring and foundations. All electrical wiring and devices were removed along with window air-conditioning units. The building contained no plumbing other than gas piping connecting gas heaters.

Restoration included wood flooring, repair of plaster walls, construction of a wall previously removed, ceiling repairs, reconstructing fireplace fronts, door and window restoration and restoration of 1856 safes. Exterior walls were repointed, cornice and fascias were reconstructed, a new slate roof was constructed (along with original cresting), gutters and downspouts were reconstructed and the portico restored. Interior finishes were restored to the original colors, a prominent feature being alternating wainscot boards of stain and paint.

The project was openly bid with the County receiving four proposals. The contractor awarded the project was Phoenix I Restoration and Construction from Dallas.

Upon full restoration in 2008, the Courthouse is again serving its original purpose of District Court, as well as, housing the County Judge, District Judge, County Attorney and Administrative Assistants.

Upon completion of restoration, Mr. Thacker submitted a Final Grant Report to the Texas Historical Commission for their files, including digital plans and specifications and final cost reports.

Winner of the AIA NETx Award of Merit, Historical Preservation

Project included Historic Wood Door Restoration, Window Restoration, stucco on watertable and chimneys, plaster, painting, concealing electrical and mechanical systems. A THC required completion report was prepared and submitted, there were no revision comments issued by the THC.

V. Clients and Projects

Smith County Courthouse; project cost approximately \$401,000



Mark has worked with several projects at the Smith County Courthouse over the last 20 years. The Courthouse turned 50 years old in 2015 and rehabilitations are now under the jurisdiction of the THC. Mark was selected to conduct an investigation of public restrooms on each floor. This included a review of original drawings, subsequent available renovation drawings, and field investigations. While the existing restrooms had significantly been altered over the years, many still contain original floor, wall, and ceiling finishes.

Mark conducted the investigation and prepared a draft report. Coordinating the proposed changes with THC staff member James Malanaphy, and a site meeting with James, resulted in no changes to the draft report and a final report was issued. Based on the thorough report, the County elected to bid the project internally. Major issues included in the scope of work, with specific areas to remain in their historic condition; contractor working hours, security during construction, public access to restrooms during construction based on a phasing plan, and the Courts remaining functional.

Project included phasing of work, tile flooring, toilet fixtures, doors, toilet partitions, wall finish, specialties, painting, plaster and gypsum board ceilings.

Mark has worked with two maintenance supervisors at Smith County, the current being Ed Nichols.

V. Clients and Projects

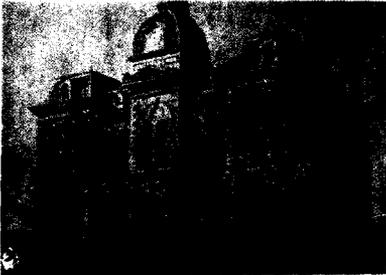
Robertson County Courthouse Restoration; total project cost approximately \$13,000,000



2014



2012



1882

Mark Thacker, AIA was hired as architect of The 1881 Robertson County Courthouse restoration. The project began as a Master Plan which included a thorough investigation of existing conditions, as well as, a search of historic documents and photographs dating back to the late 1800's. The documentation resulted in recommendations for specific restoration issues, schematic design drawings and descriptions of proposed alterations, future use and associated costs. The County elected to fund the restoration project without grants; however, coordination and approval from the Texas Historical Commission was still necessary.

The project restored the building to its 1881 Second French Empire style based on the original plans of noted architect F.E. Ruffini. The three-story stone building had corner pavilions with Mansard roofs and a central tower dome with cresting and a pediment over the south side entrance. The building was decorated with a cornice, corner quoins, dormers, bulls-eye windows, segmented arched lintels with keystones over the windows and small balcony over the south entrance.

Several modern additions and structures were removed from the site. The restored courthouse provides space for elections, treasurer, auditor, district attorney, county court, county judge, conference rooms and public facilities.

This project included intensive discussions with the THC as it involved demolition of several non-period buildings and additions on the Courthouse square and removal of an unused communications tower. Most notable was the THC approved construction of a three story annex (basement and two floors above grade); at the time the only addition to an historic Courthouse approved by the THC.

Project included Historic Wood Door Restoration, Window Restoration, finishes, painting, furr downs to conceal HVAC and mechanical piping, and Slate Roofing. A THC required completion report was prepared and submitted, there were no revision comments issued by the THC.

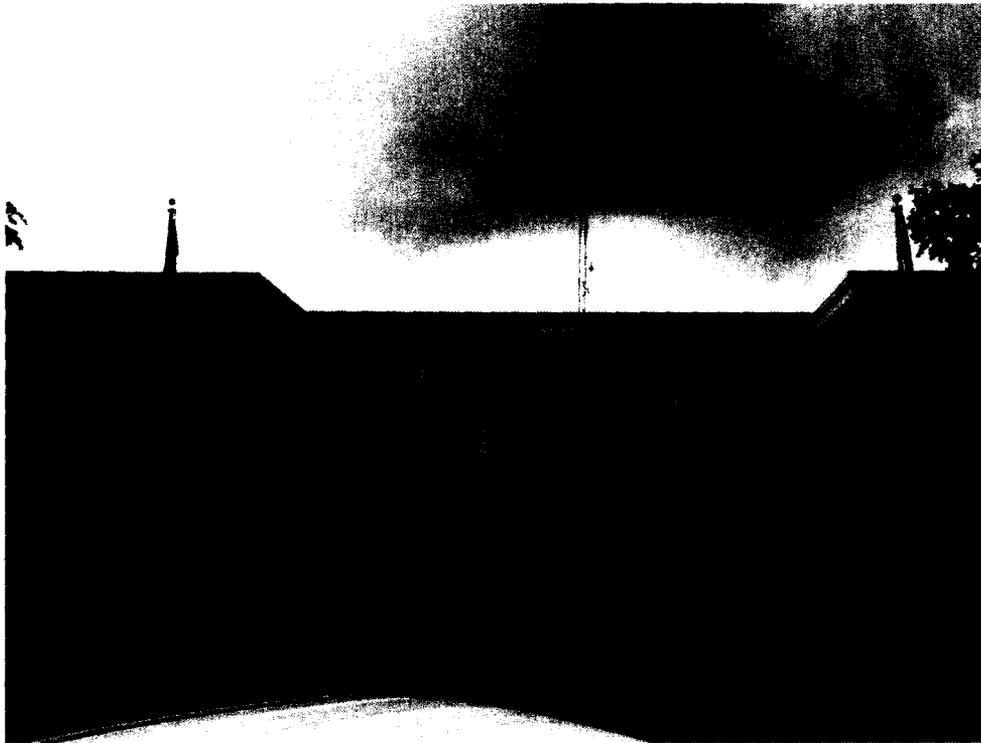
Mark has worked with honorable former County Judge Jan Anderson Roe who was unsuccessful in her

V. Clients and Projects

Madison County Courthouse Renovation; project cost approximately \$1,400,000

The Madison County Courthouse has retained almost all of its original exterior, the below ground sallyport having been enclosed during the 1980's. The interior has experienced numerous remodels based on the need for functionality and changes to laws and regulations. It has served the County well over the years and has received upgrades including a new HVAC system, electrical wiring, accessibility modifications and interior alterations. Restoration of the exterior included masonry restoration, sealants, and a new roof.

Mark has worked on several projects since 2007 beginning with County Judge Art Henson and then has continued to work with Madison County under Judge Henson's successor Judge C.E. McDaniel, Jr.. While this Courthouse is not quite 50 years old and subject to THC review, efforts were made in the design to preserve public spaces and alter only offices and suites. The Courtroom Judges platform was altered for accessibility. The building exterior was preserved in its original design.



Mark has worked with 2 County Judges in Madison County, retired Judge Art Henson and the Honorable C.E. McDaniel, Jr.

V. Clients and Projects

Linden Firehouse; project cost approximately \$288,000

The Linden Firehouse was constructed in 1939 as a part of a Works Progress Administration (WPA) program. The building was altered in 1949 with the addition of a rear bay and a second floor.

The important aspects of this project is it was a WPA project, it underwent a significant change to the exterior, it is eligible for listing on the national register and is subject to Texas Historical Commission (THC) review. Mark A. Thacker, AIA assisted the Linden Heritage Society by investigating existing conditions and developing plans for either restoration to the original construction date of 1939, or the later period of significance 1949 to 1961. The Society is considering pursuing Federal historic building tax credits.

A report was created along with a design for the later period of significance and submitted to the THC. A letter explaining several design decisions was sent along with the plans and specifications to the THC, the design was approved with no revisions or comments from the THC.



Design documents have been completed and approved by the THC.

VI. Challenges

Leon County Courthouse

The project began with a master plan prepared by Mark Thacker, AIA and approved by the Texas Historical Commission (THC). The State delayed funding for a period of time due to lack of resources. The Project plans and specifications were approved, funding secured, and approval was given to proceed with bidding. The project cost projections were impacted by a hurricane event and several work items had to be reduced, for example a conventional HVAC system in lieu of a geothermal system. After initial reductions the project was successfully completed. Scope reductions required close coordination with the THC.

Smith County Courthouse

The Smith County Courthouse experienced a tragedy some ten years ago. A subject fired on the building with a semi-automatic rifle killing two civilians and injuring law enforcement officers. The event caused a focus on security which remains in place today. The security measures and the necessity to keep the building functional makes a rehabilitation project difficult and expensive. A report was created which explained numerous challenges for undertaking an interior project. Phasing and hours available for workers were the greatest challenge.

Robertson County Courthouse

The magnitude and complexity of the overall project was a challenge. A four year phasing master plan was developed which included demolition of several buildings, a communication tower, construction of a three story annex, restoration of the 1880 Jail, and lastly the restoration of the 1881 Courthouse. The Annex required a floor underground due to height restrictions imposed by the THC. The total project was completed approximately \$200,000 under budget.

Madison County Courthouse

Madison County is somewhat remotely located and did not have local general contractors available with the capacity to undertake a project of this size. Bryan and College Station contractors were focusing on Texas A & M University projects. It was recommended to secure the services of a Construction Manager based on qualifications and a percentage fee. A contractor was selected and the project was completed under budget. A detailed phasing plan was developed with the contractor in order to rehabilitate areas of the four story Courthouse.

Linden Firehouse

The Linden Firehouse is in poor condition but is certainly worth saving. It was part of a WPA project along with an adjacent water tower. The original construction date and the period of significance was complicated from a funding standpoint as well as design. The THC has a strong position in favor of rehabilitation and a period of significance of 1949 to 1961. Restoration would leave the building in it's original one story footprint and remove a 1949 addition leaving a very attractive building for re-use. Rehabilitation would leave a second floor and lend itself more towards a residential use. The local Heritage Society has tabled a final decision on the buildings future.

VII. References

Leon County

County Judge Byron Ryder
130 E. St. Mary
P.O. Box 429
Centerville, Texas 75833
(903) 536-2331

Smith County

Edward Nichols
Director of Facility Services
312-B East Ferguson
Tyler, Texas 75702
(903) 590-4761

Robertson County

HESCO/County Representative
James Hanks, PE (Owner)
PO Box 818
317 N. Owensville
Franklin, Texas 77856
(979) 828-5187

Madison County

Don Grooms (Former Director of Facilities for Madison County)
Madisonville City Hall
210 W. Cottonwood
Madisonville, Texas 77864
(936) 245-7138

Linden Heritage Society

Joe Lovelace
PO Box 2034
Flint, Texas 75762
(512) 799-6294

VIII. Insurance

Mark A. Thacker, AIA is licensed to practice architecture in the State of Texas. Registration number 14799.

Mark A. Thacker, AIA has never had his license revoked or suspended.

Mark A. Thacker has never been reprimanded by the Texas Architectural Registration Board.

Mark A. Thacker, AIA; *Commercial & Preservation Architecture*, has never been involved with any regulatory agency action with respect to any work performed. As of the date of this RFQ submittal, there are no action cases pending against Mark A. Thacker, AIA. Mr. Thacker is not aware of any future potential actions.

Mark A. Thacker, AIA; *Commercial & Preservation Architecture*, has never been involved with any litigation with respect to any work performed. As of the date of this RFQ submittal, there are no litigation cases pending against the firm, AIA. Mr. Thacker is not aware of any future potential claims.

Following is our General Commercial Insurance and Professional Liability certificates.

VIII. Insurance

Mark A. Thacker, AIA Commercial Insurance.



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
05/09/2019

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Cozad Insurance Group 619 Chase Dr Tyler TX 75701	CONTACT NAME: Phyllis Kittrell PHONE (A/C, No, Ext): (903) 561-0181 E-MAIL ADDRESS: phyllis@cozadins.com	FAX (A/C, No): (903) 561-1085
INSURED Mark A Thacker AIA P. O. Box 2612 Lindale TX 75771	INSURER(S) AFFORDING COVERAGE INSURER A: Milwaukee Casualty Company INSURER B: Security National Insurance Co INSURER C: INSURER D: INSURER E: INSURER F:	NAIC # 26662 19879

COVERAGES CERTIFICATE NUMBER: CL195902968 REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC. <input type="checkbox"/> OTHER			KPP1053142 00	08/01/2018	08/01/2019	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMPIOP AGG \$ 2,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) if yes describe under DESCRIPTION OF OPERATIONS below		N/A	SWC1205851	09/01/2018	09/01/2019	<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 500,000 E.L. DISEASE - EA EMPLOYEE \$ 500,000 E.L. DISEASE - POLICY LIMIT \$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER Longview Hickory Trails, LP 3556 S. Culpepper, Ste 4 Springfield MO 65804	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE <i>James E. Copel</i>
---	--

VIII. Insurance

Mark A. Thacker, AIA Professional Liability Insurance.

ACORD		CERTIFICATE OF LIABILITY INSURANCE		DATE (MM/DD/YYYY) 7/17/2018		
THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.						
IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION is WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).						
PRODUCER McLaughlin Brunson A Risk Strategies Company 12801 N CENTRAL EXPY, STE 1710 Dallas, TX 75243			CONTACT NAME: Hillary Bryant PHONE (A/C, No, Ext): (214) 503-1212 FAX (A/C, No): (214) 503-8899 E-MAIL ADDRESS: certificate@mclaughlinbrunson.com INSURER(S) AFFORDING COVERAGE NAIC # INSURER A: Berkley Insurance Company 32603 INSURER B: INSURER C: INSURER D: INSURER E: INSURER F:			
INSURED Mark A. Thacker, AIA PO Box 4008 Tyler TX 75712						
COVERAGES		CERTIFICATE NUMBER: 43158079		REVISION NUMBER:		
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.						
INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	COMMERCIAL GENERAL LIABILITY CLAIMS MADE OCCUR GEN'L AGGREGATE LIMIT APPLIES PER POLICY PROJECT LOG OTHER					EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
	AUTOMOBILE LIABILITY ANY AUTO OWNED AUTOS ONLY HIRED AUTOS ONLY SCHEDULED AUTOS NON-OWNED AUTOS ONLY					COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	UMBRELLA LIAB OCCUR EXCESS LIAB CLAIMS-MADE DED RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) if yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input type="checkbox"/> Y <input type="checkbox"/> N/A				PER STATUTE OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE EA EMPLOYEE \$ E.L. DISEASE POLICY LIMIT \$
A	Professional Liability	✓	AES-9021052-03	6/16/2018	6/16/2020	Per Claim/Annual Aggregate \$1,000,000
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)						
The claims made professional liability coverage is the total aggregate limit for all claims presented within the annual policy period and is subject to a deductible. Thirty (30) day notice of cancellation in favor of certificate holder on all policies.						
CERTIFICATE HOLDER			CANCELLATION			
Master Certificate			SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.			
			AUTHORIZED REPRESENTATIVE Hillary Bryant <i>Hillary Bryant</i>			

IX. Miscellaneous: Project Approach

1. AVAILABILITY

Mark A. Thacker, AIA; Commercial & Preservation Architecture is located in Lindale, Texas. Lindale is a small town similar to Woodville approximately 143 miles away. We can usually schedule client meetings with short notice and at the clients convenience. Phone calls and emails are responded to in an efficient time period, clients are provided Mark's cell number and he strives to be accessible.

2. INTERNAL PROCEDURES

We have developed internal procedures to not only expedite production of a project but to enhance the quality of the end product. We believe in a hands on approach and a thorough field investigation. Notes, graphic linework, dimensions and details are clearly delineated within the plan set thus producing a quality set of drawings contractors can bid competitively from, as well as effectively construct a project.

3. CHANGE ORDERS

Our projects have very few change orders. Most change orders document changes in scope and cost as directed by the client, are deduct change orders, or are simply clarifications. We include clarifications within change orders because change orders do not tend to get lost as often by contractors.

4. LONG TERM CLIENTS

Mark has built a long list of repeat clients over the years and heavily relies on their referrals for additional projects. County and City governments frequently change due to public election cycles but Mark has been able to sustain continuous work with several Counties south of Smith County.

Mark began working with Leon County in 1999 and has completed a number of projects with 3 County judges and several Commissioners. Mark is currently working on the 1913 Leon County Jail restoration.

Mark began working with Robertson County in 2008 and completed restoration of the historic Courthouse, restoration of the historic jail, a new multi-story annex attached to the historic Courthouse, a Courthouse square enhancement project and design of a new elections building. The building program has concluded.

Madison County first hired Mark around 2007. He has completed a masterplan, a new annex, and renovation of the Courthouse. These projects were completed under two Judges who are now retired.

IX. Miscellaneous: Project Approach

BUDGET, SCHEDULE & WORKLOAD:

Budget: The word “budget” can easily be defined but the reality of just what a budget is comprised of and how it evolved are sometimes challenging. We as architects are frequently provided a budget and a scope of work, sometimes they do not coincide. Sometimes the scope of work is dictated by the client and the architect develops an estimate or budget.

Mark has worked with County governments long enough to understand the process of getting a project completed. It usually begins with an established allocation of funding, sometimes the allocation contains a contingency, sometimes it is a maximum amount, and sometimes it is a fixed number with an undefined scope. One step prior to schematic design Mark has found to be quite effective, is to provide an investigation report or program. To produce the report; a given budget may be examined, the project scope is generally defined and field work is conducted to give an accurate idea of actual conditions.

Step 1: Determine how a provided budget was developed.

Step 2: Define the project scope of work as provided by the owner.

Step 3: Perform field investigations and data collecting to establish quantities.

Step 4: Architect develops an independent opinion of probable construction cost and compares it to the provided budget and scope of work.

Step 5: Assemble information in an investigation report.

Schedule:

The majority of our projects are economical solutions, delivered on time, which meet the client’s needs. We work diligently to stay abreast of bidding trends and project costs and will apply that knowledge to a Tyler County project. Schedule and budget go hand-in-hand.

We believe the word deadline means the date and time a project is delivered to the client, not the target date. We take the words project budget and schedule seriously. We believe, because of our determination to provide quality and timely projects, we have enjoyed a long line of repeat business from satisfied clients.

Workload:

Status of Mark’s current workload:

- 1 projects in the investigation phase
- 3 project in design phase
- 1 projects in bidding phase
- 2 projects under construction

At this time we have four projects in the investigation or design phase. Mark A. Thacker, AIA; *Commercial & Preservation Architecture* is able to begin the Tyler County project immediately.

IX. Miscellaneous: Unique Qualifications

Mark A. Thacker, AIA is uniquely qualified for the Tyler County project:

- *Is an owner of a one person firm who will be directly involved in all aspects of a project.
- *Has current projects in Palestine, Fairfield and Centerville.
- *Located in less than three hours from Woodville.
- *Is the only architect in East Texas who is consistently involved in historic and preservation projects.
- *Successfully works with the Client and the Texas Historical Commission jointly.

IX. Miscellaneous: Financials

General Financial Capability

Mark A. Thacker, AIA; *Commercial & Preservation Architecture* is a financially stable firm. The firm is free of debt, free of mortgages, possesses no credit cards, and has numerous accounts with local vendors who are paid on a monthly basis. Consultants are paid as work is completed for a project based on specific phases or milestones. The firm issues invoices on a monthly basis or upon completion of a milestone. We will be happy to provide a financial statement in whatever format Tyler County may require.

In October we had a check book balance of about \$40,000, we will typically reduce the bank account to around \$5,000 at the end of December. We had an accounts receivable (AR) totaling about \$25,000 at the end of January 2018. Assuming no checks received in February, we would see an A/R at the end of February around \$25,000. This is an indication the firm is financially stable and considering anticipated future billings based on work under contract; March and April should reflect a significant increase in revenue.

June 4, 2019

The Honorable Judge Jacques L. Blanchette
Tyler County Judge
100 W. Bluff Street, Room 105
Woodville, Texas 75979

Re: Request for Qualifications for Remedial Measures to the Tyler County Courthouse

Dear Honorable Judge Blanchette,

Architexas is pleased to have the opportunity to submit our qualifications for the remediation work to be performed on the Tyler County Courthouse. We recognize the importance of this building to the county and will work to ensure that all remediation requirements are met in an efficient and cost-effective manner.

Our firm is uniquely qualified to serve as architect on this project. With over 41 years of experience in architecture, planning and historic preservation, our firm has earned a reputation as one of the premier preservation firms in the state. Our expertise can be seen throughout the state in restorations like the Hill County Courthouse, Harris County Courthouse, Ellis County Courthouse and Potter County Courthouse. To date our firm has completed 16 full courthouse restorations, 21 courthouse master plans and assisted our county clients in achieving over \$70 million in grant funding through the Texas Historic Courthouse Preservation Program. Each of our restorations conformed to the Secretary of the Interior's Standards, and were reviewed and approved by the Texas Historical Commission.

A team of consultants, all of whom we have worked with before on past county projects, join us in making this submission. This is a team experienced with the opportunities, constraints, needs and costs associated with public projects that must serve their constituents well. They each have a deep understanding of the Texas Historical Commission's coordination and review process and are true partners to both our firm and the client in finding creative solutions for all parties.

Our approach is one of strong communication and cooperation with our county clients and the community at large. As our experience demonstrates, we have the ability and staff necessary to complete your project to the highest level of quality and craftsmanship, while adhering to the established schedule.

Please find enclosed information we believe to be important in your selection process. We look forward to personally presenting our qualifications and approach to the project in greater detail.

Sincerely,


Stanley O. Graves, FAIA
Principal

Table of Contents

The Firm.....	3
Principal Business.....	4
Officers of the Firm	5
Professionals.....	9
Clients & Projects.....	17
Challenges	23
References.....	24
Insurance	26

Dallas

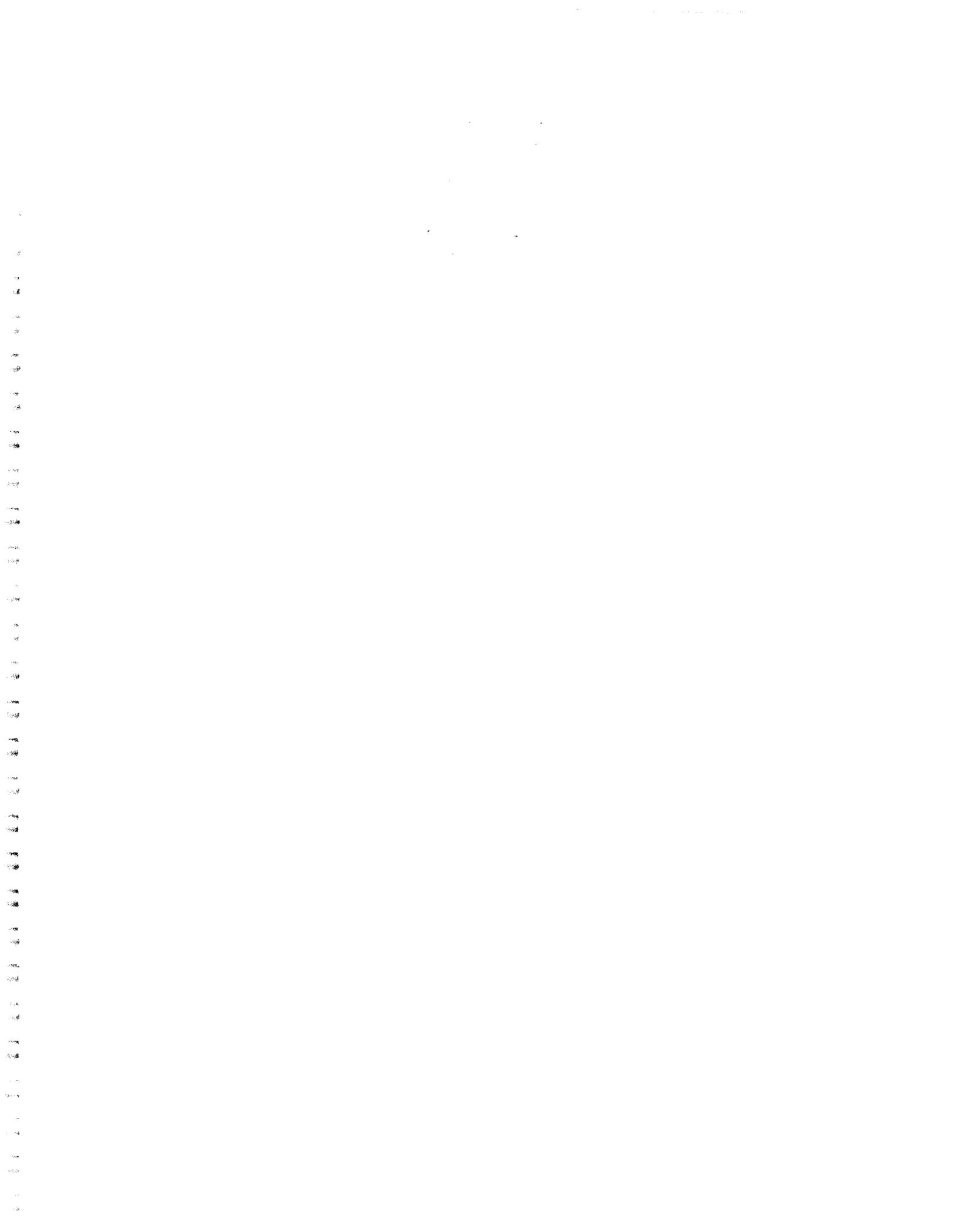
1907 Marilla St.
Second Floor
Dallas, Texas 75201

p 214.748.4561

Austin

2900 S. Congress Ave.
Suite 200
Austin, Texas 78704

p 512.444.4220



The Firm

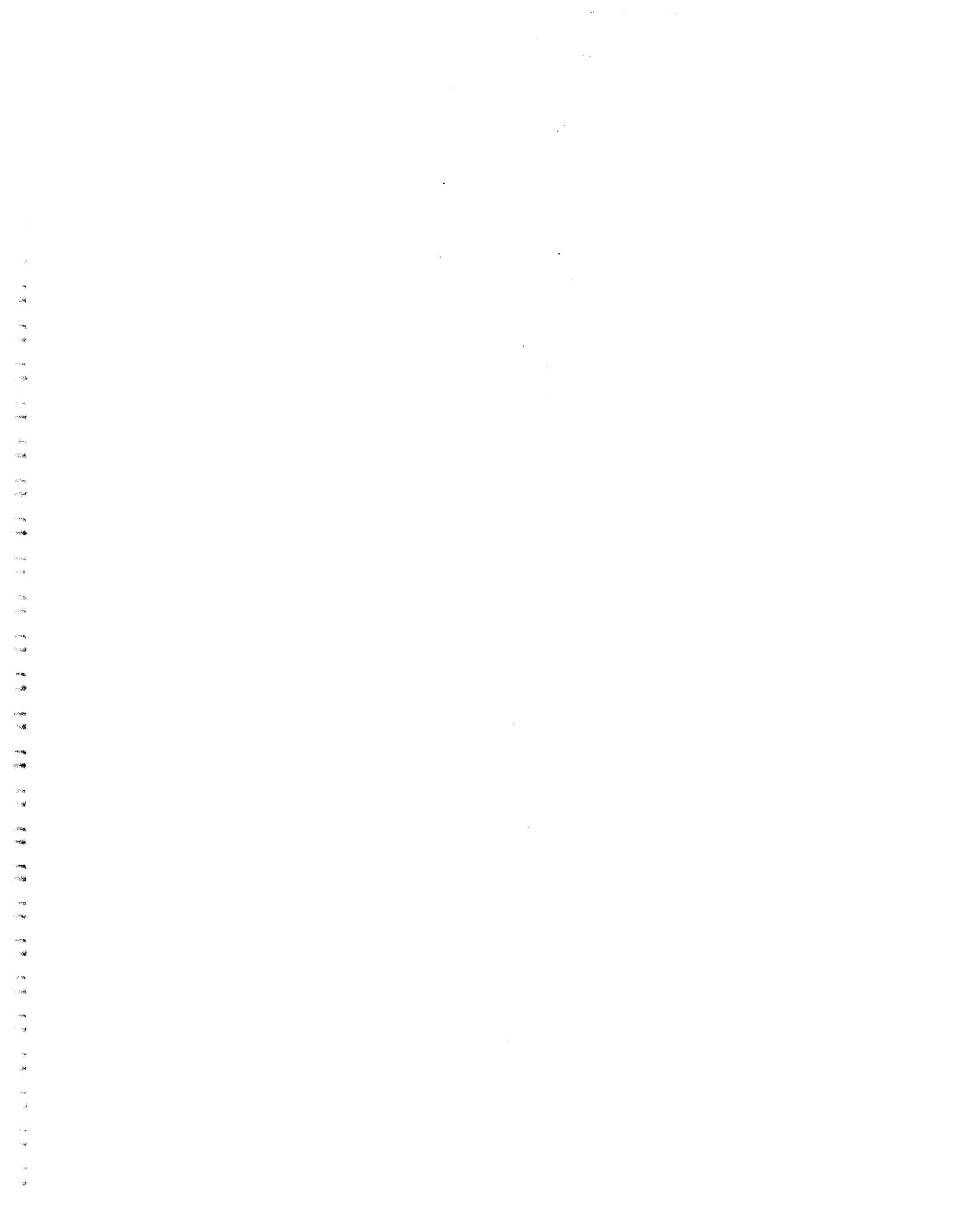
Firm Legal Name	ARCHITEXAS - Architecture, Planning and Historic Preservation, Inc. (Architexas)
Office Address	<p>Dallas Office 1907 Marilla Street Second Floor Dallas, Texas 75201</p> <p>Austin Office 2900 S. Congress Avenue Suite 200 Austin, Texas 78704</p>
Phone	<p>Dallas 214.748.4561</p> <p>Austin 512.444.4220</p>
Type of Organization	Corporation

Firm History

Architexas was created in 1978 by two members of the City of Dallas Planning and Urban Design Department, where they were introduced to historic preservation and urban design. Early planning work included a master plan for the Dallas Farmers Market and preservation plans for the Dallas West End Historic District. Projects like the Inwood Theater and the Sammons Center for the Arts proved our commitment to both design and preservation. Recognition came early in the firm's history when D Magazine named Architexas one of the "Dallas Five" best architectural firms.

Architexas wide variety of projects range from programming and master planning for civic facilities and religious institutions, to contextual design of new construction and well-crafted restoration of some of the state's most recognized buildings. In every project, we follow a process that begins with understanding the building history and context; the physical, historic, programmatic and client driven needs that define the parameters in which we will be working. Each of our projects are a unique response to a particular set of conditions and goals.

Today, with offices in Dallas and Austin, Architexas has expanded its ability to provide highly specialized planning, architecture and historic preservation services to our clients. Our emphasis remains on excellence for our clients; to create + conserve the building environment.



IX. Miscellaneous; Quality

QUALITY ASSURANCE PROGRAM

Mark A. Thacker, AIA has developed a quality assurance program based on over 25 years experience and one that works for Mark Thacker. This “program” begins with a thorough understanding of existing conditions. Original drawings can provide valuable information, but nothing can take the place of first hand observations of crawl spaces, attics, and spaces above ceilings. Mark has documented numerous historic buildings and applies the same basic investigation and documentation principals for remodel and renovations. Almost every remodel or alteration project will contain a Demolition plan(s) and Renovation plan(s). We believe in clearly defining existing items, remaining items that are to be removed and the items that are related to the new construction. The more concise a plan set can be made usually results in maximum contractor interest and in turn will benefit the Owner with lower bid numbers.

The firm goes to great lengths to produce a complete set of plans and specifications that are well organized and professionally done. In our design process we use a larger text size so drawings are legible. Including an adequate number of enlarged details and sections also conveys the design intent of the architect by providing the contractor with dimensions more easily obtained. Specifications are uniquely written for each project and are not “can” specifications.

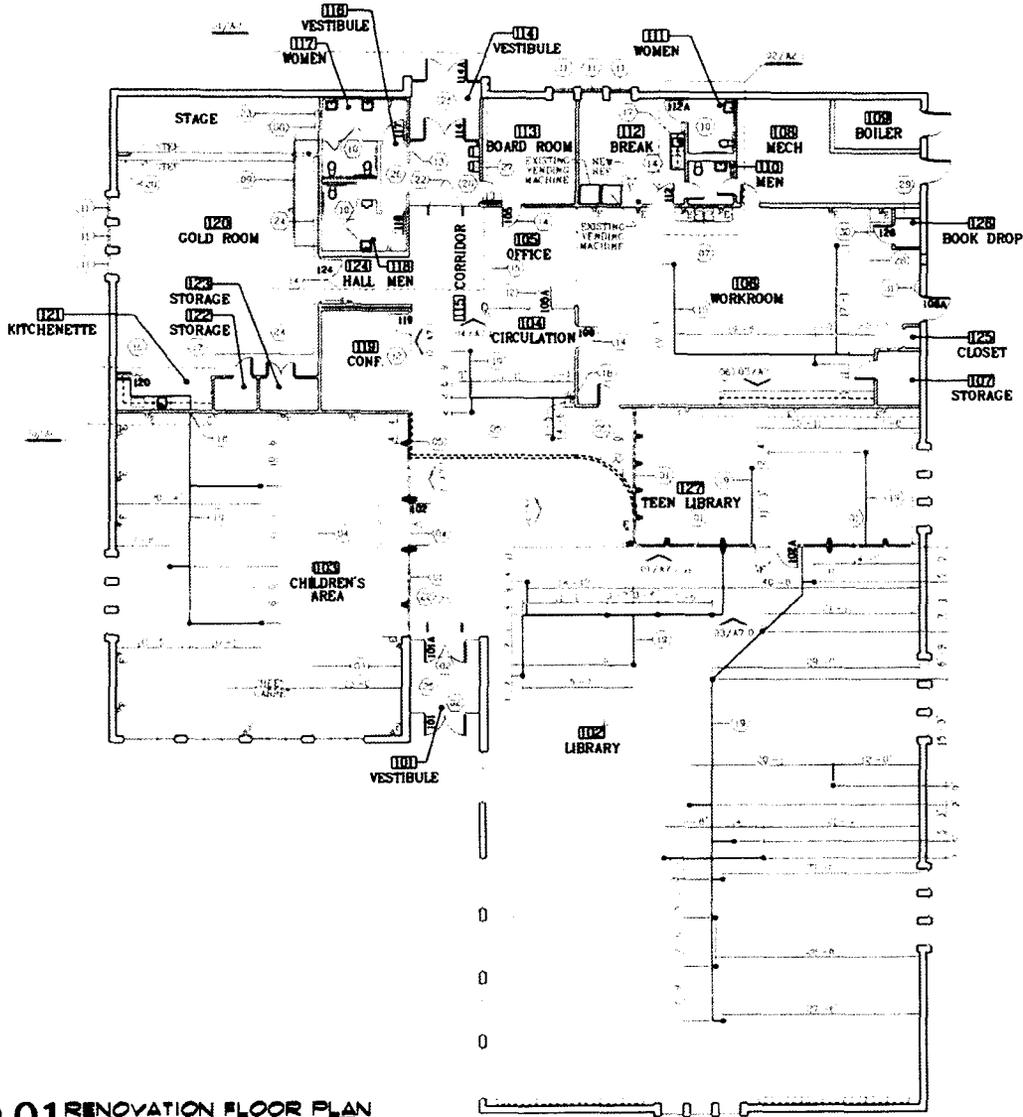
Mark’s years of experience working consistently with the same consultants; Mike Bugh (structural) and Lowrie Floyd (mechanical and electrical), has evolved into a team of professionals where providing the client with the best possible product is of utmost importance. The team members are in constant communication with each other, working closely together in the design phase which ultimately delivers a well coordinated project being produced for the client.

Each client is considered a member of the design team, and should be actively involved in the “Quality Assurance Program”. In many cases, Mark will prepare a written program stating the design team’s interpretation of the Clients scope of work as it relates to existing conditions and at that time will provide the results of the Architect’s investigation. The program is updated throughout the design process and may contain updates to the opinion of probable construction cost. If the Client dictates a budget, we attempt to produce a project within that budget. If the Client needs to know potential costs but has no budget then the program will respond accordingly.

Prior to issuing plans and specifications, Mark will conduct a final check of all drawings. The entire plan set is checked and coordinated. Almost all of the text elements, dimensions and references are checked and highlighted with a yellow pencil. Necessary changes are noted with a red pen. As the red marks are revised, those are then yellowed out. This process results in fewer dimensional conflicts, avoids references that do not match details, and eliminates unused notes. Specification sections are back checked against drawing content. This final exercise leads to a thorough and concise set of bid documents that we are proud to affix our professional seal.

Included is an example of a Demolition Plan and a Renovation Plan demonstrating organization, detail and consistency.

RENOVATION PLAN EXAMPLE



01 RENOVATION FLOOR PLAN
 0 5 10 20'

- 11 RENOVATION KITCHENETTE
- 12 DEMOLISH NEW PARTITION TO EXPOSE EXISTING WALLS AND CEILING
- 13 EXPOSED CEILING JOISTS TO REMAIN
- 14 EXISTING CEILING LIGHTS TO REMAIN
- 15 NEW FLOOR LAMINATE FLOORING
- 16 RESIDENT TRANSITION STRIP ALONG CARPET EDGE
- 17 CEILING FLOOR-DOWN LIGHT FIXTURE AS IS
- 18 INSTALL NEW 3/4" THICK LAMINATE OVER EXISTING WOOD FLOORING. INSTALL 3/4" THICK FLOORING ON EXISTING WALL BEHIND NEW PARTITION
- 19 EXISTING WALL BEHIND THE EXISTING EXPOSED JOISTS TO BE DEMOLISHED
- 20 CONSTRUCT NEW WALL WHERE EXISTING JOIST IS TO BE REMOVED
- 21 DEMOLISH NEW WOOD GRABBAR WALK TO ACCESS STAGE
- 22 COMPLETELY RENOVULATED TOILET ROOM SEE SHEET A11 FOR FINISHES PLAN
- 23 INSTALL NEW HORIZONTAL COVER BEHIND WHERE GRABBAR IS TO BE REMOVED
- 24 INSTALL NEW 1/2" WIDE STAIR ON EXISTING ALUMINUM STEPPED RAMP SYSTEM
- 25 REMOVE SURFACE APPLIED PANEL AND MATCH WITH EXISTING WALL
- 26 INSTALL NEW 1/2" WIDE STAIR ON EXISTING STEEL STRUCTURE
- 27 REMOVE TOILET AND REINSTALL GRABBAR
- 28 INSTALL NEW ACCESSION FLOORING PARTITION AND HARDWARE
- 29 INSTALL NEW MILLWORK AND SINK
- 30 PATCH WALL AS NECESSARY WHERE NEW PARTITION IS INSTALLED IN EXISTING WALL
- 31 INSTALL NEW ELECTRICAL LUMINOUS AND STOOD LIGHTS WITH 1/2" WIDE PARTITION SEE DETAIL 02A/2A
- 32 PATCH UP ALL EXISTING WALL SURFACE TO BE DEMOLISHED TO REMOVE TOILET SHEET AS IS FOR REFERENCE WORK
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Mark A. Thacker, AIA
 Commercial & Preservation Architecture
 P.O. BOX 4008 TYLER, TEXAS 75712
 Email: mark@markthacker.com
 Website: markthacker.com
 VOIC: 903-285-2656



**CITY OF MARSHALL
 PUBLIC LIBRARY
 RENOVATION**

**BUILDING
 RENOVATION
 PLAN**

10040

A2.0

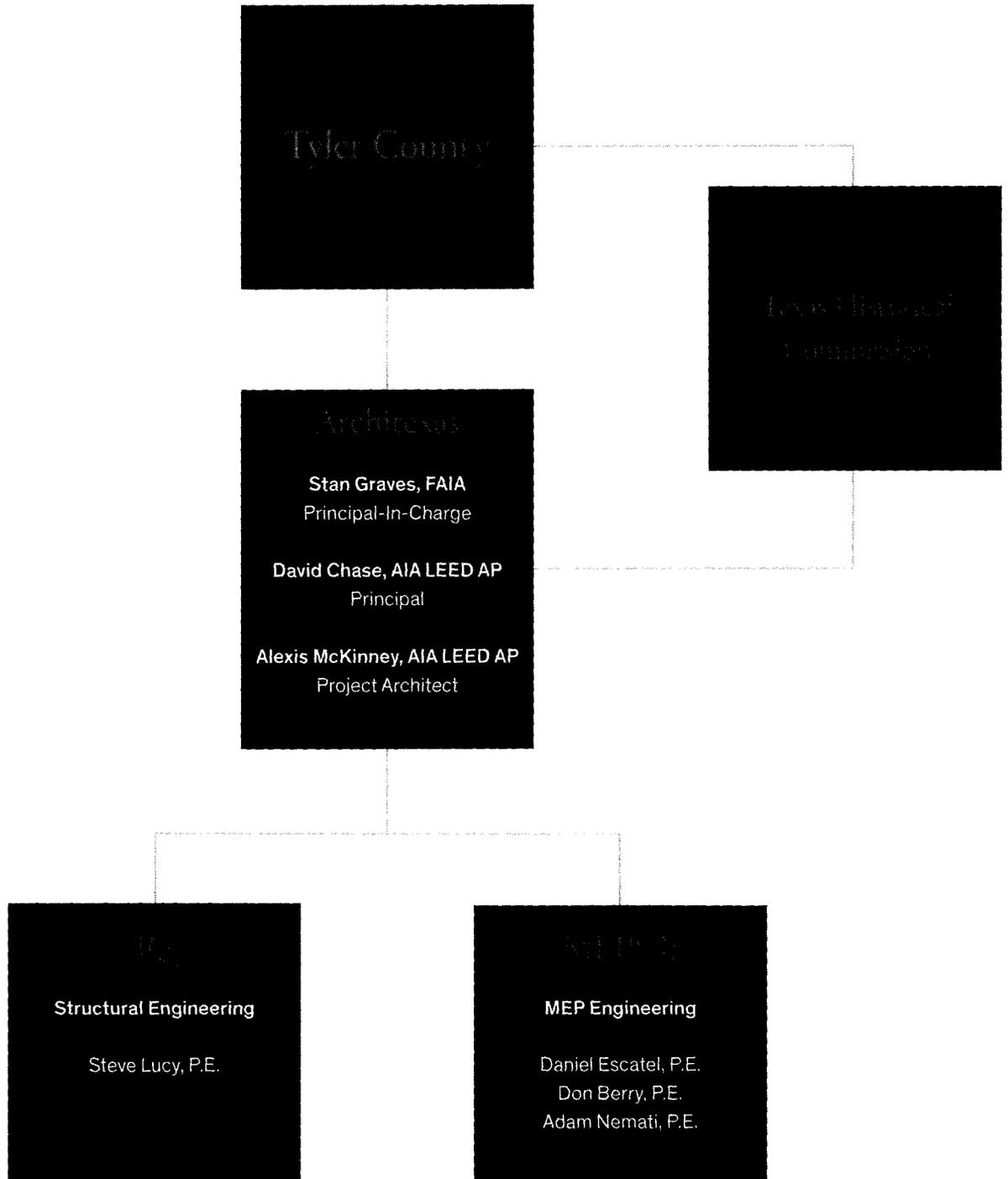
IX. Miscellaneous

Closing Statement

Mark A. Thacker, AIA appreciates the opportunity to work with Tyler County. I successfully work with the Texas Historical Commission and I have no conflict of interest with the agency. I am a volunteer with the Texas Archeological Stewards Network (TASN) but activities do not include contact with THC architecture staff.

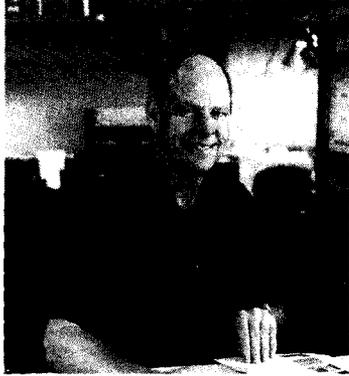
I have had differences of opinion with the THC over the years but have always been able to balance their opinions with Client objectives. Even though there appears to be a written agreement between Tyler County and the THC, there will surely be issues to resolve during the design phase. I work for my Client, not the THC.

Professionals



Stanley O. Graves, FAIA

Senior Principal



Stan Graves has over 34 years of historic preservation experience, and joined Architexas in 2013 as Senior Principal. He is the former director of the Architecture Division and Deputy State Historic Preservation Officer of the Texas Historical Commission. As director, he conceived and administered the nationally acclaimed Texas Historic Courthouse Preservation Program, which awarded over \$245 million to 83 historic county courthouse projects

from 2000 - 2012. Mr. Graves also oversaw project reviews for rehabilitation tax incentives and administered Texas Preservation Trust Fund grants for development, planning and acquisition of threatened historic structures listed on or eligible for the National Register of Historic Places. He further coordinated the reviews of architectural changes and promoted the preservation of the state's 244 historic county courthouses, ensured that the highest preservation standards were observed in work at the Texas Governor's Mansion, provided consultation and proposed mitigation for federally funded or licensed projects affecting historic properties, and reviewed construction on Recorded Texas Historic Landmark projects. He served as the agency's liaison for the restoration of the Texas State Capitol and Grounds. Mr. Graves and his 14 member staff approved, consulted on or provided grants for over \$2 billion dollars worth of preservation activity in the State of Texas.

Mr. Graves has provided programing and planning assistance for numerous historic projects throughout Texas. The range of projects has varied greatly, from high-style Victorian mansions and county courthouses, to vernacular board and batten tenant houses. These projects have often required the design of compatible new additions, new foundations, meticulous exterior restorations and new mechanical and plumbing system integration. The results have been widely published and recognized with local and national awards including an Austin AIA design award and first prize in the National Trust for Historic Preservation's Great American Home Awards program.

Mr. Graves belongs to and actively participates in various professional and civic organizations. He has led the Texas Society of Architects' Historic Resources Committee, Chaired the Rehabilitation Tax Incentives Committee of the National Conference of State Historic Preservation Officers and served as Field Session Chair of the recent US/ICOMOS International Symposium held in San Antonio. Mr. Graves has been recognized for his contributions with the Edwin C. Waller Award for Public Architecture from the Austin Chapter of the American Institute of Architects and elevation to the College of Fellows of the Institute.

Registration

Architect, State of Texas
Number 9344

Education

West Dean College,
Chichester, West Sussex,
England, 1982

Architectural Conservation
Practice in Great Britain and
Ireland

University of Texas at Austin,
School of Architecture, 1979

Bachelor of Architecture,
Magna Cum Laude

Texas Tech University, School
of Engineering, Division of
Architecture, 1976

Associations

Texas Society of Architects

National Trust for Historic
Preservation

Relevant Project Experience

UT Arno Nowotny Building

UT Hogg Auditorium

UT Dell Medical School Site
Preparation

Trinity University Master Plan

Mission Road Development
Center, San Antonio

Smithville Preservation Plan

San Saba County Courthouse

Bosque County Courthouse

Mite Foundation
Headquarters, Austin

UT Santa Rita Oil Rig

UT Union Building

UT Lions Golf Course

Winedale Historical Complex

Austin Community College -
Rio Grande Campus

Courthouse Project Experience (THC)

Bexar County Courthouse

Bosque County Courthouse

Brooks County Courthouse

Cameron County Courthouse

Cooke County Courthouse

Dallas County Courthouse

Denton County Courthouse

Ellis County Courthouse

Fayette County Courthouse

Goliad County Courthouse

Gray County Courthouse

Harris County Courthouse

Harrison County Courthouse

Johnson County Courthouse

Llano County Courthouse

Parker County Courthouse

David Chase, AIA LEED AP

Principal



Mr. Chase joined Architexas in 1996 and has participated in every level of the design process on a wide variety of projects. He has gained extensive experience in building condition diagnostics, surveying and documentation, design and construction document preparation, team organization, project management, and has particular interest and expertise with construction administration services.

His early, award-winning project experience at Architexas includes several buildings at Fair Park in Dallas: the Tower Building Restoration, Centennial Building Restoration, and the Fountain Pylons Restoration on the main Esplanade. Other past projects in which Mr. Chase participated include the rehabilitation of the historic post office in Sulphur Springs, Texas into a City Hall and Municipal Court Facility, as well as the construction of the Wylie Municipal Complex which incorporated sustainable elements including a rainwater harvest system.

Recently, Mr. Chase has led a number of the firm's courthouse restoration projects under the Texas Historic Courthouse Preservation Program (THCPP). Completed restorations include Cass County Courthouse, Hopkins County Courthouse, and Harrison County Courthouse. Mr. Chase served as Project Architect on one of our most unique and challenging courthouse projects, the Collin County Courthouse, which was an adaptive use of the courthouse for a community arts facility in the historic downtown square of McKinney, Texas.

Mr. Chase is dedicated to his profession and his community. He contributes to multiple organizations by sharing his knowledge across a variety of platforms, including Panel Discussions for the American Institute of Architects, membership in Preservation Dallas and Friends of Fair Park, and serving as the Chair of the Fair Park Task Force.

Registration

Architect, State of Texas
Number 18326

NCARB Certified

LEED® Accredited
Professional

Education

University of Texas at
Arlington, 1996

Master of Architecture

University of Texas at
Arlington, 1994

Bachelor of Science in
Architecture

Associations

American Institute of
Architects

Fair Park Task Force, Chair

Preservation Dallas

Friends of Fair Park

Relevant Project Experience

Wylie Municipal Complex

Sulphur Springs City Hall

McKinney Performing Arts
Center

Hunt County Courthouse

Cass County Courthouse

Hopkins County Courthouse

Lamar County Courthouse

Harrison County Courthouse

Fannin County Courthouse

Denton County Courthouse

Potter County Courthouse

Ellis County Courthouse

City of Eagle Pass Library

Peter Whetstone Square

Sam Rayburn Library and
Museum

Cathedral Santuario de
Guadalupe

Lutcher Memorial Church

Tower Building, Fair Park

Centennial Building, Fair Park

Esplanade Fountain Pylons,
Fair Park

Alexis McKinney, AIA LEED AP BD+C

Project Architect



Alexis McKinney, AIA LEED AP B+C joined Architexas in November of 2015 as a Project Architect. She received her Master of Architecture and Certificate in Historic Preservation from Texas A&M University in 2008.

At Architexas, Alexis serves as project manager and architect leading the production team on a variety of project types throughout the state of Texas from building documentation, design, drawing production

through construction administration.

She has a diverse background of project types for private and public entities ranging from restoration and rehabilitation to new construction commercial and higher education. Her experience includes the full restoration of Fort Bend County Courthouse and partial restoration of Polk County Courthouse, a partial restoration of the San Jacinto Monument, numerous projects from planning through rehabilitation within Camp Mabry's historic district, a renovation of the Medina County Annex, as well as new construction commercial and educational projects. Her focus on historic buildings started with HABS level documentation projects at Pointe du Hoc, France and Sharrock-Niblo Farm, Dallas.

At Architexas, Alexis has lead the restoration and rehabilitation of a number of historic main street projects including 6-8 Caddo, Cleburne and the Salt Museum, Grand Saline. Her work at Camp Mabry has continued as Preservation Architect for the restoration of Building 1 built in 1908. Alexis has overseen the drawing production for the extensive restaurant renovation of Al Biernat's North that modernized a windowless restaurant of separate rooms to be open and light filled.

Registration

Architect, State of Texas
Number 22892

Education

Texas A&M University, 2008

Master of Architecture
Certificate in Historic
Preservation

Texas A&M University, 2006

Bachelor of Environmental
Design

Associations

American Institute of
Architects

AIA - Past Historic Resources
Chair

USGBC - LEED AP BD + C

Relevant Project Experience (Architexas)

Al Biernat's North

Sylvan Terrace Development

Camp Mabry Building 1
(historic preservation)

Grand Saline Salt Museum

Prior Experience

Fort Bend County Courthouse

San Jacinto Monument
Maintenance and Repair

Camp Mabry Preservation
Plans - 1, 10, 11, 14, 26,
32, 58

Camp Mabry Building
Restorations - 6, 10, 11,
14, 32

Caddo Mounds State Historic
Site Visitor Center

Galveston State Park Historic
Residences

Medina County Annex, Hondo,
Texas

Awty International School
Theater, Parking Garage,
Lower School

University of Houston Health
and Biomedical Sciences
Building 1



STEPHEN H. LUCY, PE
Structural Project Manager

Education

Texas A&M University, Master of Engineering in Civil Engineering, 1983

Texas A&M University, Bachelor of Science in Civil Engineering, 1982

Registration

Licensed Professional Engineer in the State of Texas, No. 62420

Professional Affiliations

American Concrete Institute – Former President of Northeast Texas Chapter

International Concrete Repair Institute – Former President of North Texas Chapter

Structural Engineers Association of Texas – Former President of Dallas Chapter, Former State Director

ACE Mentoring – Former Board Member of Dallas Chapter

Zachry Department of Civil Engineering, Texas A&M University – Past Chair and Emeritus Member of
Advisory Council

Department of Architectural Engineering, Texas A&M University – Member of Advisory Council

Dwight Look College of Engineering, Texas A&M University – Member of Advisory Council
Center for Heritage Conservation, Texas A&M University – Past Member Advisory Council
American Institute of Architects, Dallas Chapter – Honorary Member

Texas Society of Architects – Honorary Member

Center for Heritage Conservation, Texas A&M University – Professional Fellow

Zachry Department of Civil Engineering, Texas A&M University – Distinguished Graduate

Experience

Throughout his 36-year career, Steve has built an impressive track record involving a diverse portfolio of structural projects, including investigations and assessments, renovations and restorations, new construction and historic preservation. His expertise in structural consulting enables him to prudently guide clients through all stages of a project, from inception to completion.

Representative Projects

- Courthouse Master Plan and Exterior Restoration, Ellis County, Waxahachie, Texas
- Courthouse Repairs, Coleman County, Coleman, Texas
- Courthouse Restoration Phase 1, Hunt County, Greenville, Texas
- Courthouse Restoration, Fannin County, Bonham, Texas
- Courthouse Restoration, Johnson County, Cleburne, Texas
- Courthouse Restoration, Johnson County, Cleburne, Texas
- Courthouse Restoration, Leon County, Centerville, Texas
- Courthouse Restoration, Leon County, Centerville, Texas
- Courthouse Restoration, Marion County, Jefferson, Texas
- Courthouse Restoration, Potter County, Amarillo, Texas
- Courthouse Restoration, Throckmorton County, Throckmorton, Texas

Daniel Escatel, P.E.
Mechanical Engineer



Education:
Texas A&M University

BS in Mechanical
Engineering

MS Mechanical
Engineering

Registrations:
Professional Engineer
Texas #123184
Expires: March 2019

Contact:
(972) 870-9060
2928 Story Rd. W Irving,
Texas 75038

Mr. Escatel is a mechanical engineer at MEP Consulting Engineers, Inc. and focuses his time on project management, mechanical design, and energy modeling. His specialties include HVAC design for mission critical buildings, TV/Radio Stations, higher education buildings, historical buildings, high-rise buildings, and energy modeling for LEED. Daniel has practice in the design of sanitary systems, supply water systems, storm water systems, vent systems, LEED plumbing design, as well as Division 22 Specification writing for general office space, schools, and historical buildings. Daniel is a part of the American Society of Heating and Air-Conditioning Engineers. Daniel's experience also includes the optimization of existing HVAC systems and the design of energy efficient HVAC systems.

Relevant Experience:

- City of Dallas - Hall of State
- City of Irving - Convention Center Commissioning
- City of Irving - Arts Center Renovation
- City of Irving - Fire Administration Building Generator Installation
- Town of Addison Theatre Assessment
- University of North Texas - College of Visual Arts
- Texas State University - New Performing Arts Center
- Hunt County Courthouse - Historic Restoration
- Fannin County Courthouse - Historic Restoration
- Texas Parks & Wildlife Devils River State
- City of Dallas - Trinity River Hike & Bike
- City of Dallas - Pacific Plaza Park
- City of Dallas - Rosa Parks Park
- City of Fort Worth - Gateway Park
- City of Fort Worth - Trinity River Vision Project
- City of Arlington - Bob Duncan Park

Don Berry, P.E.
*Senior Fire Protection/
Mechanical/ Plumbing
Engineer*



Education:

Louisiana State University

BS Mechanical Engineering

Registrations:

Professional Engineer
Texas #78006

Contact:

(972) 870-9060
2928 Story Rd. W Irving,
Texas 75038

Years with Firm:

11

Mr. Berry has more than 47 years of extensive experience as an engineer specializing in fire protection, mechanical, and plumbing protection engineering services. Don has been part of the MEPCE team for 10 years and is currently the senior engineer of the firm. Mr. Berry has a wide variety of experience in the market having completed a plethora of projects with varying scopes for multiple clients. Don's skills include but are not limited to; fire protection and fire alarm systems, HVAC, complex plumbing systems, chilled water systems & direct expansion A/C, heating water and steam, energy analysis studies, life cycle-cost benefit studies, equipment alternative studies, and commissioning. Mr. Berry has proven to be an expert in mechanical engineering and directly contributes his knowledge to MEPCE's extensive quality control processes.

Relevant Projects:

- City of Irving - Arts Center Renovation
- City of Irving - Fire Station #12
- City of Irving - Fire Station #3 Generator Installation
- City of Irving - Fire Station #4 Generator Installation
- City of Irving - Fire Administration Building Generator Installation
- Town of Addison Theatre Assessment
- University of North Texas - College of Visual Arts
- Texas State University - New Performing Arts Center
- Hunt County Courthouse - Historical Restoration
- Fannin County Courthouse - Historical Restoration
- Texas Parks & Wildlife Devils River State
- City of Dallas Trinity River Hike & Bike
- City of Dallas Pacific Plaza Park
- City of Dallas Rosa Parks Park
- City of Fort Worth Gateway Park
- City of Arlington - Bob Duncan Park
- Dallas County Records Building & Commissioners Court (LEED Silver)
- City of Dallas Equipment and Building Services Facility Condition Assessments
- Denton County Courthouse Expansion
- Hill County Courthouse
- Fate City Hall
- City of Richardson - Eisemann Center for Performing Arts Assessment

**Adam Nemati, P.E.,
RCDD, LEED AP**

*Electrical Engineer and
Lead Technology /
Security Engineer*



Education:

University of Texas at
Arlington

BS Electrical
Engineering

Registrations:

Professional Engineer
Texas #102287

Years with Firm:

17

Contact:

(972) 870-9060
2928 Story Rd. W Irving,
Texas 75038

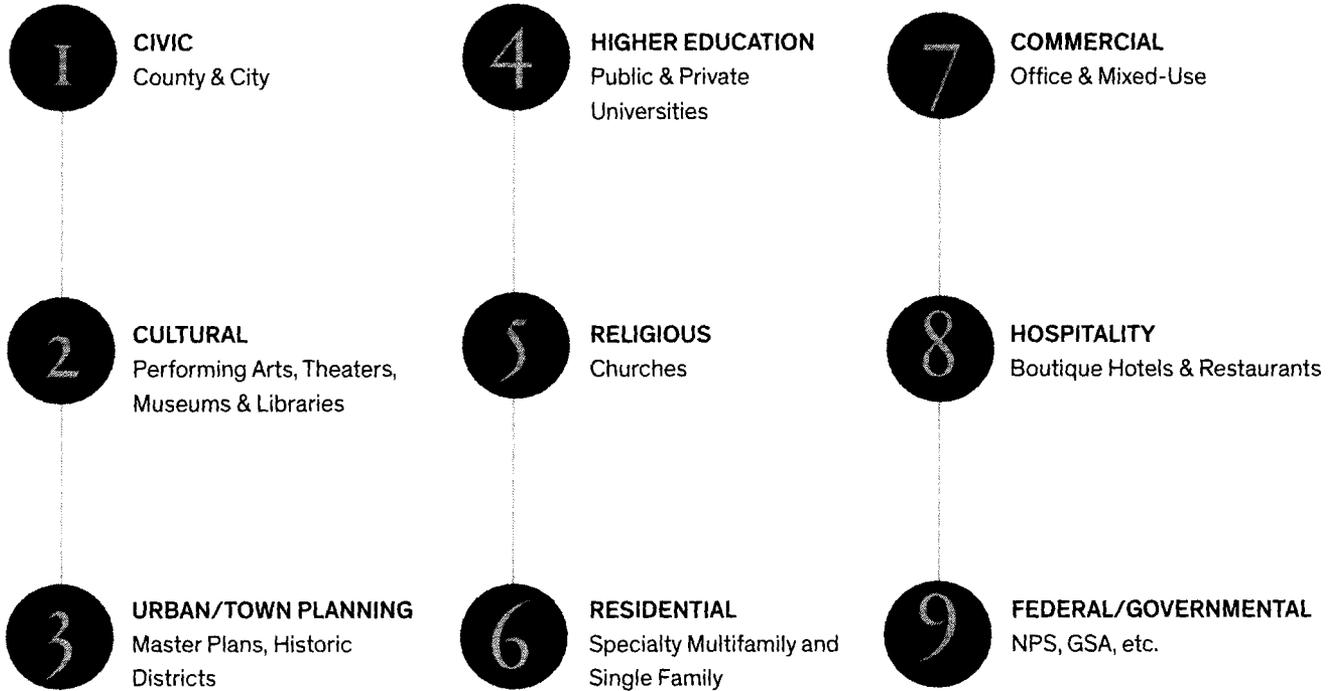
Mr. Nemati is currently the lead technology engineer for MEPCE. He focuses his time on organizing, planning, and executing firm projects. He has been with the firm since its establishment 19 years ago and has contributed directly to the success of the business. His experiences include design and construction administration for a variety of projects such as; municipalities, recreational, educational facilities, transit facilities, industrial, highways, bridges, roadways, airports, retail, and health care facilities. Adam has been the engineer and lead technology engineer for a wide range of similar projects and has a clear understanding of the needs and demands that these projects entail.

Relative Experience:

- City of Irving - Convention Center Commissioning
- City of Irving - Arts Center Renovation
- City of Irving - Fire Station #12
- City of Irving - Fire Station #3 Generator Installation
- City of Irving - Fire Station #4 Generator Installation
- City of Irving - Fire Administration Building Generator Installation
- Town of Addison Theatre Assessment
- University of North Texas - College of Visual Arts
- Texas State University - New Performing Arts Center
- Hunt County Courthouse - Historical Restoration
- Fannin County Courthouse - Historical Restoration
- Texas Parks & Wildlife Devils River State
- City of Dallas Trinity River Hike & Bike
- City of Dallas Pacific Plaza Park
- City of Dallas Rosa Parks Park
- City of Fort Worth Gateway Park
- City of Arlington - Bob Duncan Park
- City of Dallas - Fair Park Music Hall
- Denton County Courthouse Expansion
- Fate City Hall
- Dallas County Records Building & Commissioners Court (LEED Silver)
- City of Dallas - Fire Station #44 (LEED GOLD)
- City of Dallas - Aquarium Annex Building Assessment
- City of Richardson - Eisemann Center for Performing Arts Assessment

Principal Business

With over forty-one years of experience in architecture, planning and historic preservation, Architexas has experience with project types in the following markets:



Architexas has a variety of services it is able to provide to the Tyler County:

- + Programming
- + Planning
- + Architecture Services
- + Historic Preservation
- + Historic Structure Reports
- + State Landmark Designations
- + Design
- + Project Management
- + Existing Conditions Surveys
- + Texas Historical Commission Coordination
- + Historic Paint Analysis
- + National Register Nominations
- + Building Code and ADA Analysis
- + Historic Resource Surveys
- + Construction Administration
- + Post-Construction Services
- + Federal and State Historic Preservation Tax Credits
- + Rehabilitation, Restoration, Renovation, Adaptive Use

In addition to the disciplines outlined above, our team has extensive experience in working with counties and is familiar with the level of communication required to achieve success on civic projects. Our firm is well-versed in facilitating meetings with County Staff, Key Stakeholders and the community at large. Our Principals and Project Architects have a proven quality assurance process that ensures our team will deliver services of the highest quality on schedule and on budget.

Architexas' relationship with the Texas Historical Commission spans over 25 years, beginning with our work on the Hill County Courthouse restoration in Hillsboro, Texas. Since then we have worked with our clients to complete 34 courthouse projects and 18 tax incentive based historic projects. Each of these projects was evaluated and deemed to be in compliance with the Secretary of the Interior's *Standards for the Treatment of Historic Properties*.

Officers of the Firm



Karen Johnson, AIA

Senior Principal
Dallas Office

1907 Marilla, Second Floor
214.748.4561



Larry Dask, AIA, LEED AP

Senior Principal
Austin Office

2900 S. Congress Ave, Ste. 200
512.444.4220



Steven Johnson, AIA

Senior Principal
Austin Office

2900 S. Congress Ave., Ste 200
512.444.4220



David Johnson, AIA, LEED AP

Principal
Dallas Office

1907 Marilla, Second Floor
214.748.4561



John Allen, AIA, LEED AP

Principal
Dallas Office

1907 Marilla, Second Floor
214.748.4561



Amanda Johnson, AIA

Principal
Austin Office

2900 S. Congress Ave, Ste. 200
512.444.4220

Biographies of Principals



Craig Melde, AIA
Founding Principal

Larry Irsik, RA, LEED AP
Senior Principal

Craig Melde is the Founding Principal of Architexas, an architectural firm which has specialized in historic preservation and adaptive use of historic properties and urban planning.

Prior to forming Architexas, Mr. Melde worked in the City of Dallas' planning department where he participated in the formulation of the city's historic preservation program.

Since those early years, Mr. Melde's experience has been heavily concentrated on redevelopment projects in the re-emerging downtown Dallas market including the Joule Hotel and public and institutional work including restoration of many significant buildings at Fair Park, a National Historic Landmark site. The firm's award-winning work for the City of Dallas and for multiple historic county courthouse restoration projects throughout Texas has earned the firm its reputation in the state for historic preservation work. He has experience with city historic preservation tax incentives and the Federal and State of Texas Certified Rehabilitation Tax Credit Programs which requires a working knowledge of the Secretary of the Interior's Standards for Rehabilitation. He uses his creativity to assist owners to find contemporary and sustainable architectural solutions while preserving the historical and architectural integrity of historic properties.

Larry Irsik is an architect and Senior Principal with Architexas and has over 30 years of historic preservation experience. He joined the firm in 1985 and opened the Austin office of Architexas in 2000. From 1988-1990, Mr. Irsik worked in Cambridge, MA, where he was a designer for Arrowstreet Inc., and taught at the Boston Architectural Center. Prior to becoming a Principal of the firm, Mr. Irsik served as Project Manager and Architect for many of the firm's most important historic preservation projects.

Mr. Irsik also has extensive experience working with governmental entities at the federal, state, county and city government level as well as with educational institutions, including the University of Texas and St. Edward's University. Mr. Irsik is a leader in the preservation community in Austin, having served on the board of Preservation Texas, as Chairman of the Building Industry Council, and as chairman of the statewide Awards Committee for that organization. He has also served on other boards and commissions while in Dallas, has published articles on preservation and on courthouse restoration, and has lectured at professional conferences nationally.

“Our attention to detail and pragmatic solutions yield inspiring results and timeless design.”

Biographies of Principals



Stanley O. Graves, FAIA
Senior Principal

Stan Graves, with over 35 years of historic preservation experience, joined Architexas in 2013 as Senior Principal. He is the former Director of the Architecture Division and Deputy State Historic Preservation Officer of the Texas Historical Commission. As director, he created and administered the nationally acclaimed Texas Historic Courthouse Preservation Program, which awarded over \$245 million to 83 historic county courthouse projects. Stan served as the agency's liaison for the restoration of the Texas State Capitol and Grounds, and the Texas Governor's Mansion. Mr. Graves and his 14 member staff approved, consulted on or provided grants for over \$2 billion worth of preservation activity in the State of Texas.

Stan has led the Texas Society of Architects' Historic Resources Committee, Chaired the Rehabilitation Tax Incentives Committee of the National Conference of State Historic Preservation Officers, and served as Session Chair at the recent US/ICOMOS International Symposium in San Antonio, Texas. Stan has also been recognized for his contributions with the Edwin C. Waller Award for Public Architecture from the Austin Chapter of the AIA and was elevated to the College of Fellows of the Institute for his work in preserving the architectural legacy of Texas.



David Chase, AIA LEED AP
Principal, Primary Contact for the City

David Chase, AIA LEED AP is an architect and principal of Architexas, a collaborative architecture and planning firm whose mission is to serve clients and community by creating and conserving meaningful, lasting and well-crafted built environments. The firm approaches each project with a process that focuses on discovery and exploration. From historic county courthouses to luxury boutique hotels to city park pavilions, the results are contextually sensitive design responses and faithful restorations of our cities historic fabric.

Since joining Architexas in 1996, Mr. Chase has participated at every level of the design process on a wide variety of rehabilitation and restoration projects. He has gained extensive experience in building condition diagnostics, surveying and documentation, design and project management and leads the firm's quality control program. David's project experience includes award-winning projects such as Fair Park in Dallas, the restoration and rehabilitation of the historic Sulphur Springs Post Office and the bell tower reconstruction at Cathedral Santuario de Guadalupe. In addition to these projects, Mr. Chase has led a number of the firm's courthouse restorations under the Texas Historic Courthouse Preservation Program and serves as the Chair for the Fair Park Task Force that serves the City of Dallas Landmark Commission.

“With every project, we follow a process that begins with researching and understanding the context within which we will be working.”

Biographies of Principals



John P. Allender, AIA
Principal

John P. Allender, AIA is an architect and principal of Architexas, a collaborative architecture and planning firm whose mission is to serve clients and community by creating and conserving meaningful, lasting and well-crafted built environments. The firm approaches each project with a process that focuses on discovery and exploration. From historic county courthouses to luxury boutique hotels to city park pavilions, the results are contextually sensitive design responses and faithful restorations of our cities' historic fabric.

As a principal of Architexas, Mr. Allender has focused on sustainability and design innovation guided by a commitment to the preservation of our architectural heritage. He is an active member of the design and preservation community, serving on Preservation Dallas' Preservation Issues Committee, AIA Dallas' Historic Preservation Task Force and the Mayor's Preservation Solutions Committee. Notable projects include the restoration and additions to the First Unitarian Church of Dallas, renovations to the Society of Petroleum Engineers' World Headquarters, and the College Park Pavilion, completed in collaboration with SNØHETTA. His work has been recognized by local and state design and preservation communities, including multiple Preservation Dallas Preservation Achievement Awards, Preservation Texas Historic Rehabilitation Awards, and AIA Dallas Honor Awards.



Susan Frocheur, R.A.
Principal

Ms. Frocheur has over 25 years of experience in the restoration of historic buildings, as well as designing new structures located within historic districts. She obtained a Master of Architecture from Tulane University in 1989 and a Master of Science in Historic Preservation with an emphasis in Conservation Technology from Columbia University in 1994.

A Principal at Architexas, Ms. Frocheur managed the conditions assessment study and analysis of the LBJ Library and Museum Building on the campus of the University of Texas at Austin. This included preparation of base drawings for the project team, a comprehensive building envelope study, an interior materials condition assessment of the Auditorium and Service levels, and preparation of construction documents for the exterior restoration of the travertine cladding. Other recent projects include the interior and exterior renovation and restoration of the Harris County Courthouse in Houston, the Potter County Courthouse in Amarillo, and the Rains County Courthouse in Emory, Texas. These projects included sensitive installation of new MEP systems into historic fabric, and restoration and reconstruction of historic elements and finishes.

Ms. Frocheur was also the project manager for the interior and exterior restoration and rehabilitation of the Historic Kyle City Hall, as well as the renovation and expansion of the Geography Building at the University of Texas in Austin.

“With offices in both Dallas and Austin, we provide specialized services unique to each of our clients.”

Clients & Projects



Architexas provides architecture, planning, and historic preservation services to a broad range of civic clients on a variety of project types, including: Courthouses, City Halls, Municipal Complexes, Visitor's Centers, Museums and Libraries.

Our firm has over 40 years of expertise in the design of civic buildings that serve the needs of growing communities. Architexas has been extensively involved in civic projects throughout the state, which have garnered awards for exemplary design.

Our team of experienced architects and preservationists have completed 21 courthouse master plans, 16 full courthouse restorations and obtained more than \$70 million in Texas Historic Courthouse Preservation Program funding for our county clients to date, more than any other architectural firm in the state.

Principal Client List

Bandera County	City of Athens
Bastrop County	City of Bonham
Bosque County	City of Cleburne
Burnet County	City of Dallas
Chambers County	City of Denton
Coleman County	City of Eagle Pass
Collin County	City of Ennis
Dallas County	City of Farmer's Branch
Denton County	City of Forney
Duval County	City of Grapevine
Ellis County	City of Greenville
Fannin County	City of Hillsboro
Frio County	City of Irving
Grayson County	City of McKinney
Harris County	City of Rockdale
Hill County	City of Smithville
Hunt County	City of Sulphur Springs
Mason County	City of Waxahachie
McLennan County	City of Wylie
Milam County	Austin Community College
Potter County	St. Edward's University
Robertson County	Texas A&M University
San Saba County	Texas Woman's University
Shelby County	Trinity University
Taylor County	University of North Texas at Dallas Law School
Tom Green County	University of Texas at Austin
Washington County	

Clients & Projects



The Bosque County Courthouse, constructed in 1886, is one of the oldest surviving courthouse structures in the state of Texas that continues to function as a county courthouse. The courthouse style and forms were altered in 1936 when the original clock tower and turret roofs were removed.

Architexas prepared a Historic Structures Report and Master Plan for the courthouse that conformed to the standards of the Texas Historic Courthouse Preservation Program (THCPP). This report was identified into two separate phases. Phase I was completed in 2004 and involved elevator additions, as well as electrical and mechanical upgrades. Phase II was completed in 2007 and involved restoring the courthouse back to its 1886 design, which included reconstructing the original clock tower and corner turret roofs. The interior was restored to the original finishes and spaces, including public corridors and the District Courtroom.

Bosque County Courthouse Meridian, Texas

Project Duration

Phase I: 2004
Phase II: 2007
Phase III: 2015

Construction Cost

\$4.1 million

Square Footage

15,000 square feet

Scope of Services

Full Architectural Services

Master Planning

Phased Construction
Planning

Awards & Publications

Best of Award for Best
Renovation/Restoration,
Texas Construction

Historic Preservation Award,
Preservation Texas

Client Contact

Hon. Judge Don Pool
Bosque County Judge
100 Main Street
Meridian, Texas 75665
254.435.2382
don.pool@bosquecounty.us

Clients & Projects



In 2013, Architexas was hired by Hunt County to complete a preservation Master Plan for the historic courthouse as well as create the construction documents for the restoration of the monumental stairs at the main entrances to the building. The Master Plan was later approved by the Texas Historical Commission in the spring of 2014. At that time, Architexas assisted the county in preparing a grant application for Round VIII of the Texas Historical Courthouse Preservation Program (THCPP) which is focusing on emergency funding for courthouses that are experiencing life safety related issues. Construction for the monumental stairs was completed in summer 2015.

Hunt County was recently awarded a planning grant in round IX of the THCPP which will go towards the preparation of construction documents for a complete restoration of its 1929 appearance.

Hunt County Courthouse
Greenville, Texas

Project Duration

Phase I: 2013 - 2014
Phase II: 2015 - present

Construction Cost

Phase I: \$920,000.00

Square Footage

64,526 square feet

Scope of Services

Master Planning
Programming
Historic Preservation
THCPP Participation

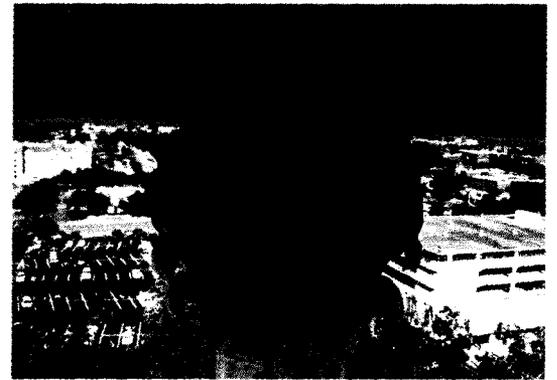
Client Contact

Judge John Horn
Hunt County
2507 Lee Street, 2nd Floor
Greenville, Texas 75401
903.408.4146

Contractor Contact

Harrison Walker &
Harper Aaron Benson,
Project Manager
903.783.3659

Clients & Projects



Architexas was hired by McLennan County to provide Preservation Architectural Services to repair and waterproof the main roof and dome of the McLennan County Courthouse. The courthouse was constructed in 1902 and designed by architect James Riley Gordon in the Neoclassical Style with Beaux Arts detailing. Architexas completed a full assessment of the roof and dome, which included restoration and selective replacement of the ornamental statuary and architectural elements.

In addition to restoring the dome and main roof, Architexas also completed a limited historic paint analysis to determine the original paint colors on elements above the 3rd floor cornice. As part of the project, Architexas investigated material and assembly options for replacement materials that were beyond repair based on cost, longevity, and similarity in appearance of original materials.

McLennan County Courthouse
Waco, Texas

Project Duration

2010 - 2013

Construction Cost

\$2.6 million

Square Footage

54,450 square feet

Scope of Services

Master Planning

Full Architectural Services

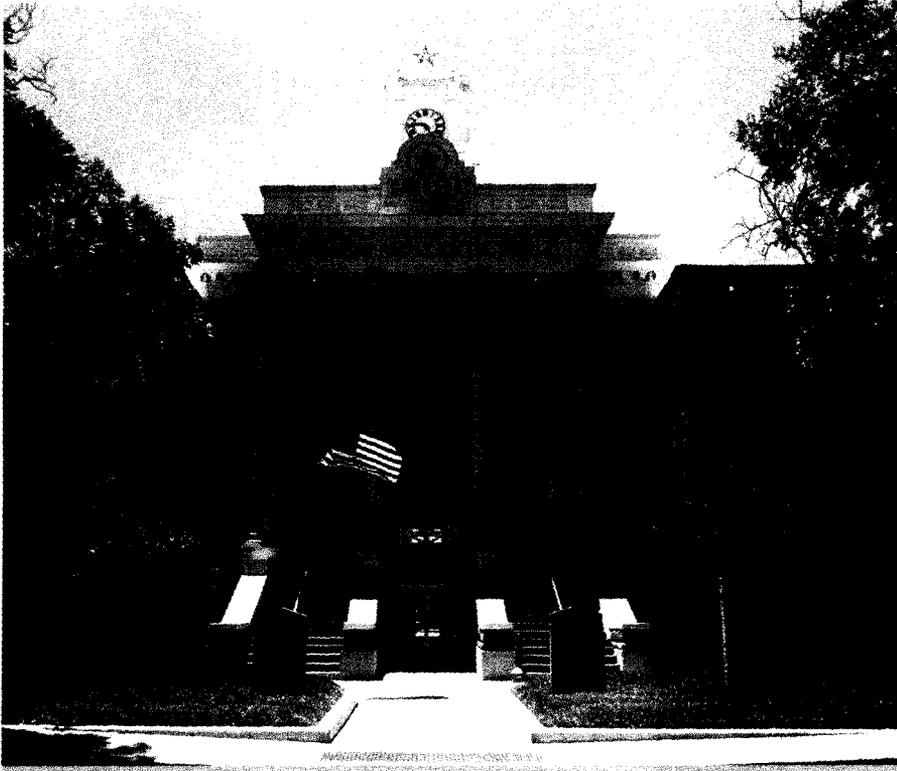
Phased Construction Planning

THCPP Participation

Client Contact

Hon. Judge Scott M. Felton
McLennan County Judge
P.O. Box 1728
Waco, Texas 76703-1728
254.757.5049

Clients & Projects



In April of 2014, Architexas was hired by San Saba County to provide architectural services required to implement the emergency grant provided by the Texas Historical Commission's Texas Historic Courthouse Preservation Program (THCPP), including the preparation of construction documents and the provision of construction administration services for the new electrical service and interior and exterior stairway repairs. The county remained in the building throughout the duration of the project.

Phase I of the project was substantially complete in July of 2016. In September of 2016, the San Saba County Courthouse was awarded a THCPP grant to undertake the full restoration of the courthouse. Architexas is currently providing Construction Administration for Phase II, which includes the full exterior and interior restoration.

San Saba County Courthouse
San Saba, Texas

Project Duration

Phase I: 2014 - 2016
Phase II: Current

Construction Cost

\$900,000

Square Footage

23,630 square feet

Scope of Services

Feasibility Study
THCPP Participant
Architectural Services

Client Contact

Hon. Judge Byron Theodosios
San Saba County
500 E. Wallace
San Saba, Texas 76877
325.372.3635

Challenges

Coordination with the Texas Historical Commission

Performing work on the restoration of a historic building that must conform to the Secretary of the Interior's Standards and be reviewed regularly by THC can be challenging, especially when appropriately allocating funds and resources is a priority. This a challenge our firm has encountered and navigated efficiently with each of the projects listed above.

Architexas' familiarity and relationship with the Texas Historical Commission staff at all levels spans over 25 years, beginning with our work on the Hill County Courthouse restoration in Hillsboro, Texas. Our team of architects and preservation specialists deeply understand the coordination and review process, allowing for a seamless integration of both the design and review schedule for your project. These decades of experience allow our team to advocate well for our clients, resulting in a project that respects both the requirements of THC and the needs and expectations of Tyler County.

Community Support

While the intent of a proposed civic project begins with the community's best interest in mind, it can often be a challenge to garner full support especially in regard to allocating proper funding. Our firm is currently experiencing this challenge in Fannin County.

The solution has been found through assisting in positive community outreach for the Fannin County Historical Commission and the County at large. Our project team has made themselves available to local news outlets for interviews regarding the restoration and also provides content to the Historical Commission's social media accounts when needed. In addition to working with the press, the team also presents the project's progress to the Commissioners Court, making these presentations available and open to the public. This process actively engages the community and generates excitement around the project and what it will mean for the county once complete.

Occupied Building during Construction

The work performed during phases one, two and three of the Bosque County Courthouse restoration took place while the building remained occupied by county staff. This presents a challenge in many ways, including safety of the staff and the public, and scheduling.

Architexas was responsible for anticipating, planning and coordinating the requirements of the project to the contractor in order to overcome these challenges. A courts schedule was obtained in advance of creating the project schedule to ensure construction did not coincide with court dates and/or took place after-hours. A separate construction entrance was designated to alleviate construction traffic for staff and the public. Laydown Areas were also identified. Personal protection measures were taken to ensure low exposure to dust, odors, debris, etc. for county staff and visitors.

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Previous Client References

Reference #1 Bosque County Courthouse	
Contact Name: Don Pool	Contact Title: County Judge
Phone: 254.435.2382 ext. 6	Email: don.pool@bosquecounty.us
Address: 110 South Main, Room 100, Meridian, Texas 76665	

Reference #2 Fannin County Courthouse	
Contact Name: Dean Lackey	Contact Title: Commissioner, Precint 4
Phone: 903.583.2039	Email: flackey@fanninco.net
Address: 1369 East Highway 56, Bonham, Texas 75418	

Reference #3 Hunt County Courthouse	
Contact Name: Cheryl Lowry	Contact Title: Purchasing Agent
Phone: 903.408.4292	Email: clowry@huntcounty.net
Address: 2507 Lee Street, Room 104, Greenville, Texas 75401	

Reference #4 McLennan County Courthouse	
Contact Name: Scott M. Felton	Contact Title: County Judge
Phone: 254.757.5049	Email: N/A
Address: P.O. Box 1728, Waco, Texas 76703-1728	

Reference #5 San Saba County Courthouse	
Contact Name: Byron Theodosis	Contact Title: County Judge
Phone: 325.372.3635	Email: N/A
Address: 500 E. Wallace, San Saba, Texas 76877	

Financial References

Reference #1 Accountant	
Contact Name: Robert C. Bondy, III	Contact Title: CPA at Sumrall & Bondy, P.C.
Phone: 972.233.2200	Email: robertb@cpadallastx.com
Address: 8150 N. Central Expressway, Suite 1650, Dallas, Texas 75206	

Reference #2 Banker	
Contact Name: Courtney L. Lam	Contact Title: Relationship Banker at Bank of America
Phone: 512.406.3031	Email: courtney.l.lam@bankofamerica.com
Address: 12400 W. Highway 71, Building E, Austin, Texas 78738	



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

1/23/2019

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER McLaughlin Brunson A Risk Strategies Company 12801 N CENTRAL EXPY, STE 1710 Dallas, TX 75243	CONTACT NAME: Joe Bryant	
	PHONE (A/C, No, Ext): (214) 503-1212 FAX (A/C, No): (214) 503-8899 E-MAIL ADDRESS: certificate@mclaughlinbrunson.com	
INSURED Architexas - Architecture, Planning and Historic Preservation, Inc. 1907 Marilla Street Dallas TX 75201	INSURER(S) AFFORDING COVERAGE	NAIC #
	INSURER A : XL Specialty Insurance Company	37885
	INSURER B : Travelers Indemnity Company	25658
	INSURER C : Travelers Casualty and Surety Company	19038
	INSURER D : Charter Oak Fire Insurance Company	25615
	INSURER E : Travelers Property Casualty Co of Amer	25674
	INSURER F :	

COVERAGES

CERTIFICATE NUMBER: 46709244

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

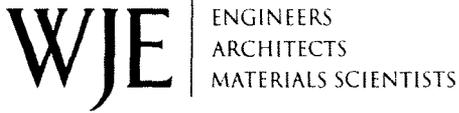
INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
D	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	6806H809624	1/31/2019	1/31/2020	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
E	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	BA6F503607	1/31/2019	1/31/2020	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 10,000	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	CUP8167Y593	1/31/2019	1/31/2020	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000 \$
C	<input checked="" type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y/N If yes, describe under DESCRIPTION OF OPERATIONS below		<input checked="" type="checkbox"/>	UB9J775629	1/31/2019	1/31/2020	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
A	Professional Liability		<input checked="" type="checkbox"/>	DPR9922701	3/3/2018	3/3/2019	Per Claim/Annual Aggregate \$ 2,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

The claims made professional liability coverage is the total aggregate limit for all claims presented within the annual policy period and is subject to a deductible. Thirty (30) day notice of cancellation in favor of certificate holder on all policies. City of McKinney is named as an additional insured on the general, auto and umbrella liability coverage as required by written contract. A waiver of subrogation is shown in favor of the additional insured on all policies as required by written contract.

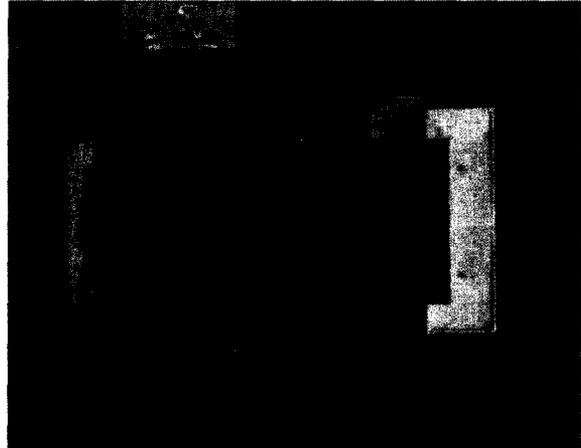
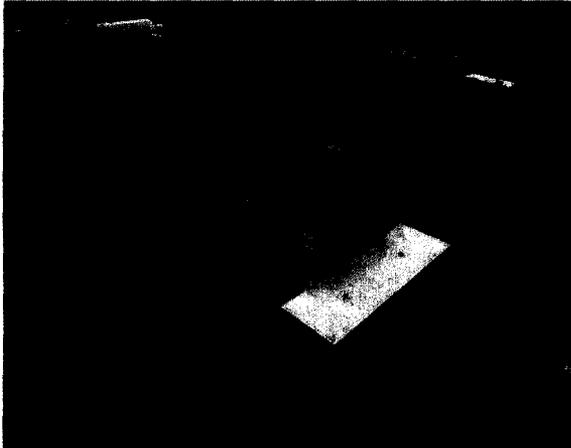
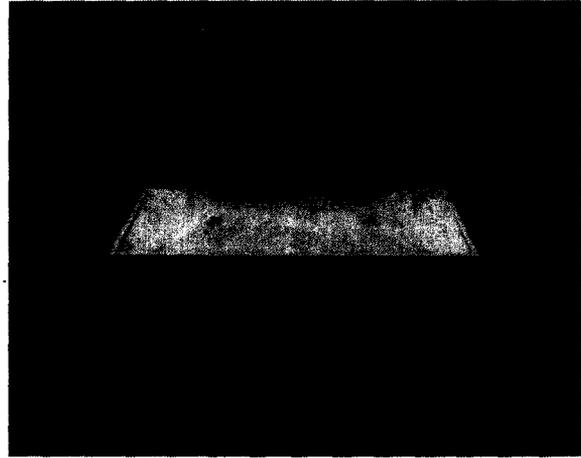
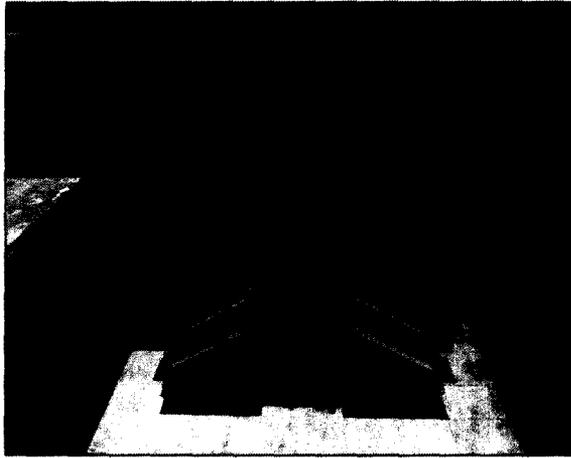
CERTIFICATE HOLDER**CANCELLATION**

City of McKinney Attn: Lisa Littrell PO Box 517 McKinney TX 75070	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE Joe Bryant



Wiss, Janney, Elstner Associates, Inc.

9511 North Lake Creek Pkwy
Austin, Texas 78717
512.257.4800 tel | 512.219.9883 fax
Texas Registered Engineering Firm F-0093
www.wje.com



STATEMENT OF QUALIFICATIONS

Tyler County's RFQ for A/E Services for the Rehabilitation of Tyler County Courthouse

June 4, 2019

**PREPARED FOR:
THE HONORABLE JACQUES L. BLANCHETTE
TYLER COUNTY JUDGE
100 W. BLUFF STREET, ROOM 105
WOODVILLE, TEXAS 75979**

**PREPARED BY:
CARL J. LAROSCHE, PE
WISS, JANNEY, ELSTNER ASSOCIATES, INC.
9511 NORTH LAKE CREEK PKWY
AUSTIN, TEXAS 78717**

| **TABLE OF CONTENTS**

WJE

WJE Statement of Qualifications	1
THE FIRM	1
PRINCIPAL BUSINESS	2
OFFICERS OF THE FIRM	4
PROFESSIONALS	4
CLIENTS & PROJECTS	5
<i>Project Profiles</i>	7
CHALLENGES	14
REFERENCES	15
<i>Previous Clients References</i>	15
<i>Financial References</i>	15
INSURANCE	16
Appendix A - Capability Profiles	
Appendix B - Resumes	
Appendix C - 2018 Audited Financial Statement	

WJE Statement of Qualifications

THE FIRM



The Firm

Founded in 1956, Wiss, Janney, Elstner Associates, Inc. (WJE) is an employee-owned corporation of more than 730 employees. We are a global firm of engineers, architects, and materials scientists committed to helping solve, repair, and avoid problems in the built world. For 63 years, our applied experience from more than 125,000 projects and our state-of-the-art laboratory and testing facilities have made WJE a leader in providing innovative yet practical solutions to the clients we serve. In addition to our headquarters, located in Northbrook, Illinois, we have 25 other offices nationwide and 1 international office in London. 4 of these offices are located in Texas—Austin, Dallas, Houston, and San Antonio. WJE Austin is the primary office leading this Solicitation response and is located at 9511 North Lake Creek Parkway, Austin, Texas 78717.

Our project personnel are nationally-recognized leaders in the field of historic preservation and assessment, with special emphasis on historic building materials, properties, and technical preservation solutions. In addition to educational backgrounds in architectural history and preservation, WJE personnel have extensive experience in conducting feasibility studies, researching, documenting, investigating, and developing sensitive solutions to problems in unique historic buildings and structures. WJE personnel meet and exceed the NPS Professional Qualifications Standards in architecture, historical architecture, and architectural history, which define specific combinations of education, training, and professional work experience, as well as substantial contributions to published work in preservation, historic architecture, architectural history, and cultural landscape

architecture.

WJE project personnel have experience with a variety of resources and construction types, settings, and geographic locations nationwide, providing a unique resource upon which to draw for projects within this study. With four offices in Texas, including architects, structural engineers, and materials scientists (with a laboratory in Austin), WJE has specific familiarity with materials and construction in the coastal Texas region, as well as the particular effects and rigors of the regional climate and weather.

WJE personnel have served in leadership roles for national professional organizations devoted to architectural preservation, such as the Association for Preservation Technology International (APT). WJE personnel have authored and edited numerous published books and articles dealing with historic construction materials and techniques and their preservation.

Also, WJE has been recognized by the Harley J. McKee Award for Outstanding Contributions to Preservation Technology by APT, as well as by numerous preservation awards for individual projects. WJE's past experience in the application of preservation precepts and in providing realistic solutions to unique building problems enables our project teams to achieve the complementary goals of preserving our cultural heritage and protecting our natural resources.

WJE project personnel have extensive knowledge and experience in preservation architecture and engineering, including past work on many historic structures and National Register and National Historic Landmark properties. Archival research, field documentation, condition assessments,

WJE Statement of Qualifications

THE FIRM (CONT'D)



and preparation of HSRs, CLRs, and CLIs, National Register determinations of eligibility and nominations, HABS/HAER/HALS documentation, materials analysis studies, and related projects are a regular and primary part of the work performed in-house by WJE.

The WJE project team has successfully applied the Secretary of the Interior's Standards for preservation, rehabilitation, restoration, and reconstruction of historic properties in the preparation of HSR and CLR documents and in the development of preservation recommendations for a variety of historic structures and sites. In addition, WJE project team members have experience with code review and accessibility studies.

Principal Business

Beginning as a structural and testing firm focused on construction-related problem solving, WJE expanded in 1973 to include an architectural group. This allowed us to apply our investigative and testing expertise to establish a strong presence in the practice of historic preservation. WJE's architectural expertise has been sought by numerous entities—both public and private—to investigate and repair many high-profile buildings and historical structures, including the Alcatraz; Reliance Building, a National Historic Landmark in downtown Chicago; and the Kennedy Center for the Performing Arts, a national memorial in Washington, D.C., to name a few.

WJE architects and engineers have since been involved in a variety of projects at historic churches, civic centers, department stores, and state capitols across the country, including, but not limited to, the following in Texas:

- Alamo (San Antonio)
- Ambassador Hotel (Dallas)
- Confederate Reunion Grounds (Mexico)
- Cow Bayou Swing Bridge (Bridge City)
- Elisabet Ney Museum (Austin)
- Holy Cross Hall (Austin)*
- Jack K. (JK) Williams Administration Building (College Station)*
- Kress Building (San Antonio)
- Market Ross Place (Dallas)
- O'Henry Hall (Austin)**
- Old Dallas High School (Dallas)
- Plaza Hotel (El Paso)
- San Jacinto Monument (La Porte)
- St. Andrew's Episcopal Church (Fort Worth)
- Texaco Buildings (Houston)
- Texas Governor's Mansion (Austin)
- Texas State Capitol (Austin)*

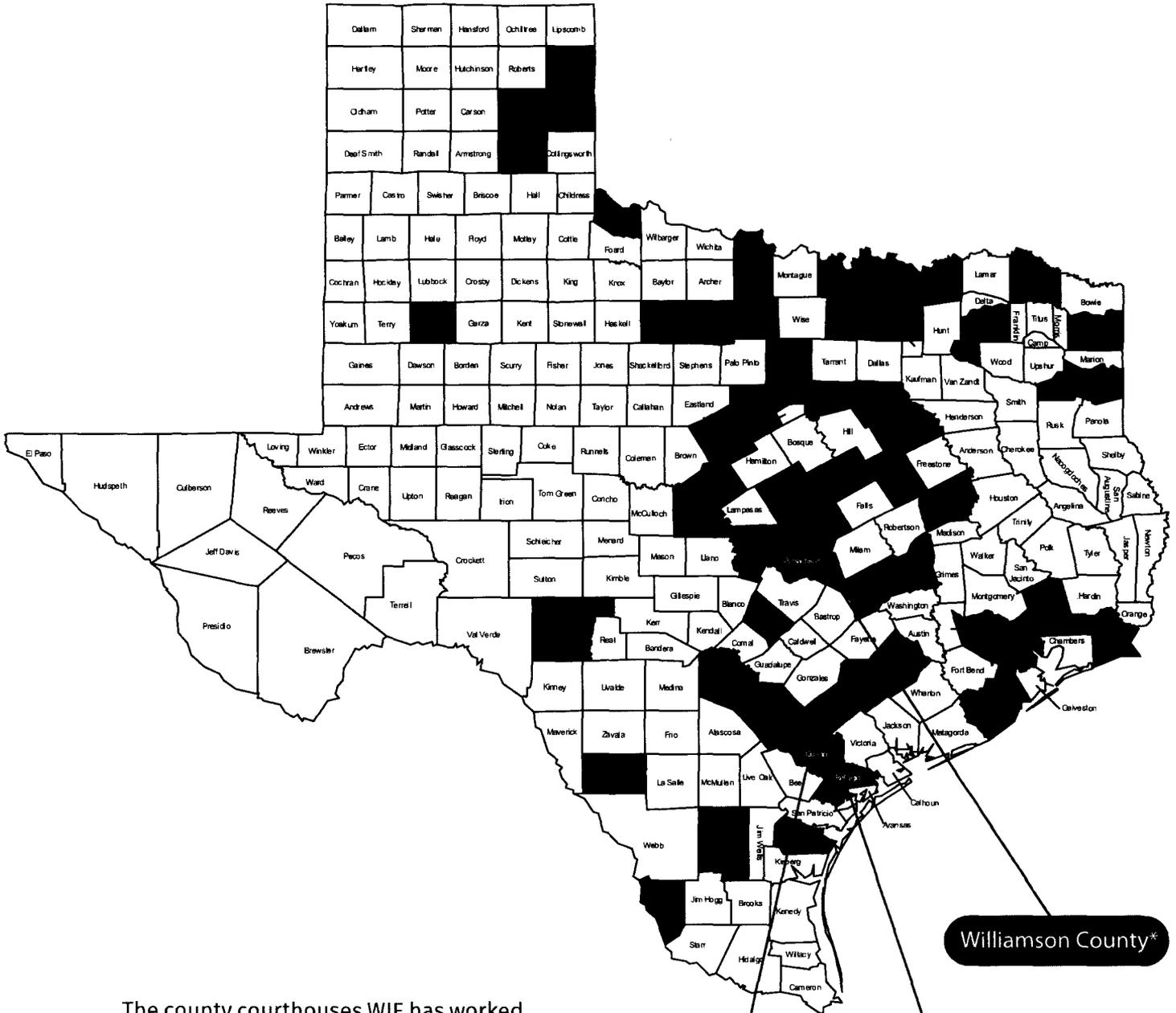
**Write-ups on these projects are included on included a later section of this response.*

**Project has won the 2019 Honor Award (Preservation Texas) and Preservation Merit Award (Preservation Austin).*

The map on the following page depicts the county courthouses in Texas that WJE has worked on.

WJE Statement of Qualifications

PRINCIPAL BUSINESS



The county courthouses WJE has worked on over the years are highlighted on the above map. (Map is courtesy of Texas Association of Counties)

**Write-ups on these projects are included in the Clients & Projects section.*

WJE Statement of Qualifications

PRINCIPAL BUSINESS (CONT'D)



WJE SERVICES

WJE offers a broad spectrum of services to deliver better solutions to construction-related problems:

- Architectural
 - Historic Preservation**
 - Architectural Finishes & Materials**
 - Building Enclosures**
 - Building Science
 - Enclosure Commissioning
- Design
 - Repair & Rehabilitation**
 - Design Review
 - Design-Build Systems & Components
- Field
 - Building Enclosure Testing**
 - Condition Evaluation**
 - Construction Observation & Troubleshooting
 - Difficult Access & Drone Survey
 - Instrumentation & Monitoring
 - Nondestructive Evaluation**
 - Structure Load Testing
- Engineering
 - Structural Engineering**
 - Bridge Engineering
 - Construction Engineering
 - Fire Protection & Life Safety
 - Geotechnical and Geological Engineering
 - Materials Engineering
 - Metallurgical Engineering & Applied Mechanics
 - Seismic Engineering
- Laboratory
 - Materials Evaluation & Testing**
 - Product Development, Evaluation, & Testing
 - Structural Load & Fatigue Testing
 - Laboratory Research
- Forensics
 - Failure & Damage Investigation
 - Litigation Consulting

**Capability profiles are included in Appendix A.

Officers of the Firm

Carl "Chuck" J. Larosche, PE, will serve as WJE's Project Manager and Principal-in-Charge for the Tyler County Courthouse Rehabilitation project. Below is a list of our current Corporate Officers. Resumes for these individuals, including Mr. Larosche, are included in Appendix B.

William Nugent, 847.753.7229 **President**
330 Pflugsten Road, Northbrook, IL 60062

Gary Klein, 847.753.6572 **Executive VP**
330 Pflugsten Road, Northbrook, IL 60062

Ian Chin, 312.372.0555 **VP**
10 South LaSalle Street, Ste. 2600, Chicago, IL 60603

Predrag Popovic, 847.272.7400 **VP**
330 Pflugsten Road, Northbrook, IL 60062

Steve Schmit, 847.753.6378 **CFO**
330 Pflugsten Road, Northbrook, IL 60062

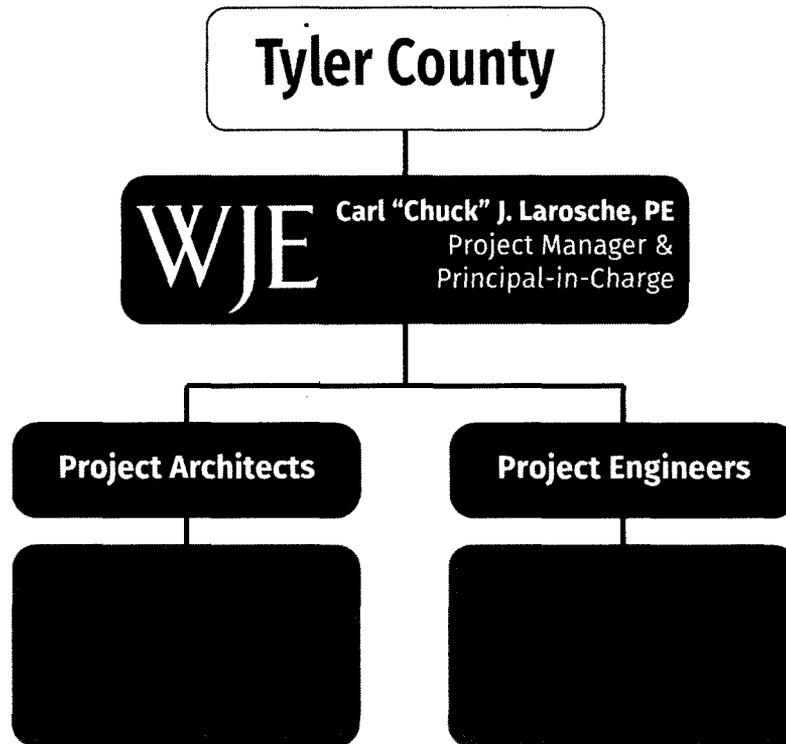
Stephen Safranek, 847.753.6370 **Secretary**
330 Pflugsten Road, Northbrook, IL 60062

Edmund Stephan, 847.753.6535 **Asst. Secretary**
330 Pflugsten Road, Northbrook, IL 60062

Professionals

An organizational chart identifying the key personnel to serve under Mr. Larosche for this project is on the following page. Full resumes for these team members are also included in Appendix B.

**WJE Statement of Qualifications
PROFESSIONALS (CONT'D)**



Clients & Projects

Over the past 5 years, the Austin office of WJE (WJE Austin) has worked on a variety of projects and continues to maintain a broad client base. Some of our principal clients during this time include the following:

- American Constructors, Inc.
- BGE, Inc.
- City of Austin
- CP&Y
- FirstEnergy (Davis-Besse Nuclear Power Station)
- JMI Realty, LLC
- North East Independent School District
- Northstar Recovery Services, Inc.
- Oklahoma Department of Transportation (DOT)
- Pinnacle West Capital Corporation/Arizona

- Public Service
- Pfluger Associates, Architect
- Port of Houston Authority
- Sansone Group
- Somerset Association Management
- SSC Services (Texas A&M University)***
- State Preservation Board (Texas)***
- Texas Department of Transportation (TxDOT)
- Texas Facilities Commission
- Texas Department of Health & Human Services
- Texas State University
- University of Texas at Austin
- University of Texas Southwestern Medical Center

*****Projects for these clients are included below, in addition to others.**

WJE Statement of Qualifications **CLIENTS & PROJECTS (CONT'D)**



Many of WJE's projects have been public projects for Texas counties, municipalities, universities, or state departments, as well as private sector clients, including developers, design firms, condominium associations, residential owners, attorneys, etc. As both lead firm and sub-consultant on numerous projects, WJE has gained valuable experience working with the public and private owner. WJE is skilled in the management and integration of project input from different stakeholders, who often represent diverse agendas. Specifically with regard to public projects, WJE has proven experience, gained through previous public projects in Texas, in addressing multiple stakeholders' project concerns and goals and combining them into a comprehensive design solution.

Whether public or private buildings, the

WJE project team has significant experience working in occupied, functioning buildings and knows how to minimize conflict between investigation, demolition, and construction activities and the operational activities of the facility. Examples of issues addressed include noise control, developing methods for physical separation of construction activities from user activities, and establishment of schedules to avoid inconvenience to building occupants and users. In addition to these construction phase controls, the WJE project team is familiar with organizing and implementing a phased investigative approach to avoid intrusion to building users and visitors.

The following projects exemplify WJE's recent experience with historic structures, specifically, in Texas.

PROJECT PROFILE

Goliad County Courthouse

Goliad, TX | Completed Project Cost: \$300,000 (Estimated)



PROJECT DESCRIPTION

The Goliad County Courthouse, designed by Henry E. M. Guidon, was originally constructed in 1894. The structure consists of load-bearing masonry with shallow spread footings and timber roof trusses and roof framing. The exterior walls are made of quarry-faced blue Muldoon sandstone. In 1964, a large addition—consisting of the same or similar materials and details as found on the historic Courthouse—was constructed on the south facade.

WJE was retained to investigate reported distress conditions, including damage associated with water infiltration at the wall-to-ceiling interface within the Courtroom and floor-to-ceiling interface within the Judge's Office, as well as cracking of several interior masonry and plaster walls.

WJE conducted a condition assessment of the Courthouse, including a structural assessment of the cracking and an assessment of the reported water infiltration points. The assessment included localized water testing as well as installation of crack

gages for ongoing building monitoring. Based on WJE's site assessment and limited structural analysis, the primary cracking observed at the interior Courthouse walls was attributable to long-term deflection of roof framing members. Ancillary cracking was observed at the interface between the original Courthouse and the 1964 addition.

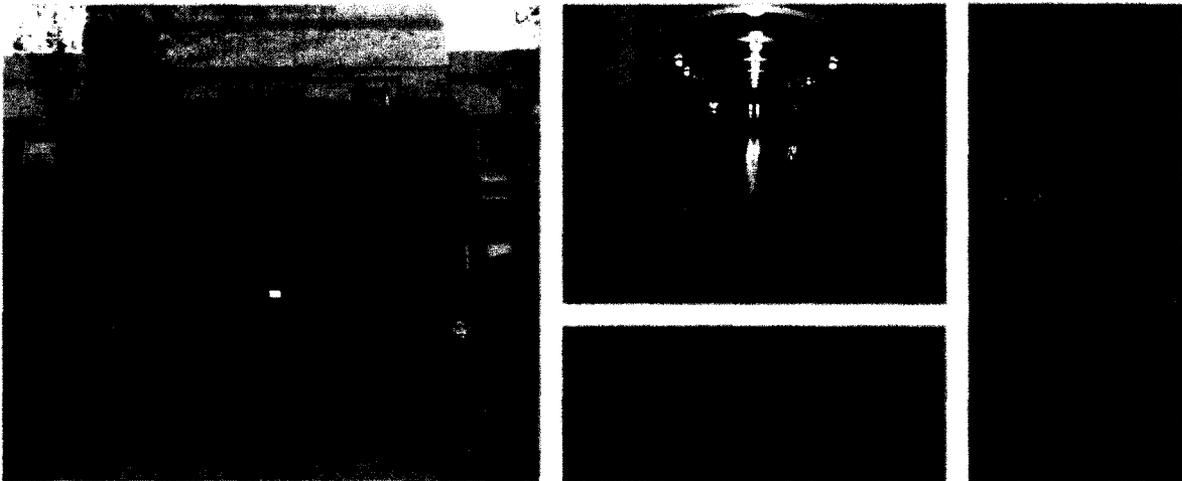
WJE provided several recommendations to ensure long-term durability of the building, including additional investigation of the site drainage and underlying soils, repairing the deflected attic framing, and implementation of long-term monitoring efforts at the building. WJE also provided recommendations for flashing repairs and improvements to address the immediate water infiltration issues.

Based on the established priorities of Goliad County, WJE recently developed construction documents for repair design of the attic framing, new window flashing, sashes, and sealant, as well as , site drainage modifications. WJE is contracted to perform construction period services and bidding of the repairs is pending.

PROJECT PROFILE

Refugio County Courthouse

Refugio, TX | Completed Project Cost: N/A



PROJECT DESCRIPTION

The Refugio County, located 20 miles from the Texas coastline, was designed by San Antonio architect, Atlee B. Ayres, and constructed in 1917 by contractor, W.H. Borglud. Due to the burgeoning oil and gas industries in the early 20th century, and the subsequent population growth, Refugio County (County) expanded the courthouse with an addition and renovation in 1951. The addition enlarged the jail facilities and modernized the building. In 1986, an elevator was added to the exterior of the building, and in 2002, the courthouse was nominated by the county and listed on the National Register of Historic Places at the local level of significance.

In August 2017, a Category 4 hurricane (Hurricane Harvey) made landfall near Rockport, Texas, which caused damage across a widespread area of southern Texas, including the courthouse and many other structures within the county. As a result, Refugio County Commissioners hired Komatsu Architecture (Komatsu) to conduct a feasibility study for the preservation of the courthouse. Komatsu retained WJE to perform a limited condition assessment of the courthouse's structural

systems in support of cost-benefit analyses related to rehabilitation.

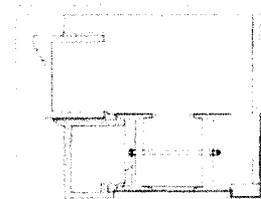
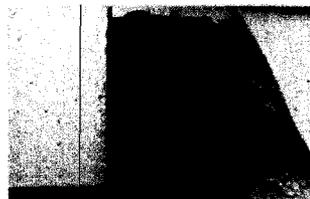
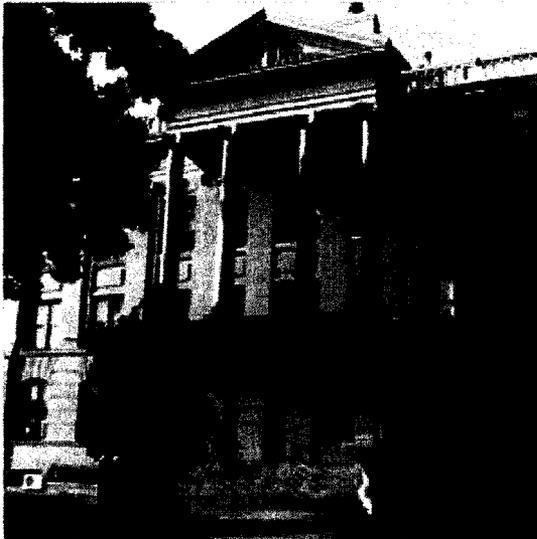
In addition to conducting a document review of as-built data received, WJE conducted an on-site investigation, which included visual observations and an interior elevation survey. The visual observations were generally limited to site conditions, exterior masonry cladding, interior finishes, and exposed elements of the reinforced concrete framing at accessible levels and areas. WJE also observed the reinforced concrete framing from a limited number of existing openings and removable acoustical ceiling tiles.

The observed damage and distress was associated with differential movements related to expansion and/or consolidation of expansive foundation soils. Changes in the soil moisture content and volume were likely exacerbated by long-term, pre-existing water infiltration issues and the short-term environmental effects of Hurricane Harvey. WJE evaluated the potential impact of these factors and provided Komatsu with a detailed report of findings and rehabilitation recommendations.

PROJECT PROFILE

Williamson County Courthouse

Georgetown, TX | Completed Project Cost: \$725,800



PROJECT DESCRIPTION

The current Williamson County Courthouse was originally constructed in 1911 and was designed by Charles H. Page. Following multiple renovations, the Courthouse was restored in 2006 with the assistance of the THC and returned to its original 1911 grandeur. WJE was requested to assess the condition of existing brickwork, prepare repair design documents for brick repointing and repair, and provide construction administration services during the masonry repairs.

WJE reviewed digital files of previous restoration drawings for the Courthouse along with project specifications in order to determine the extent of previous restorations and to prepare field data sheets for the purpose of conducting the field assessment. During the on-site field assessment, samples of masonry, mortar, and other related

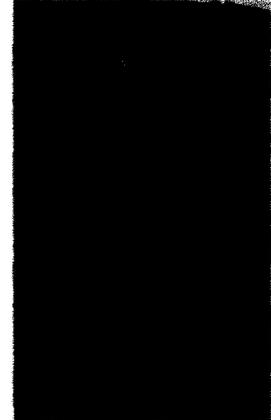
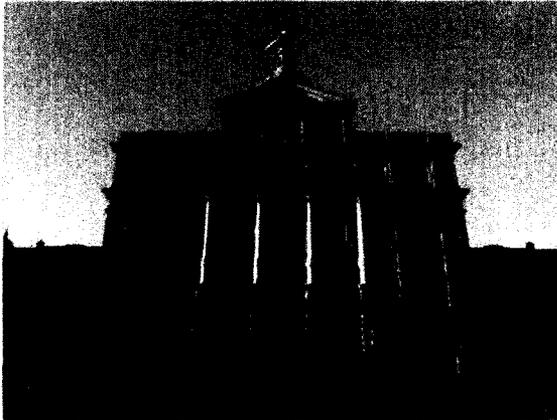
materials were removed from discreet locations. WJE performed laboratory testing and petrographic investigation in our Austin laboratory on the samples taken from the project site and recommended appropriate mix proportions for the repointing and repair mortar.

Distress was observed at the north entry stairs, basement area below the north entry, and the surrounding site. Based on the results of the field assessment and laboratory investigation, WJE developed a repair design for the exterior masonry repointing and restoration. WJE developed final construction documents, including drawings and written technical specifications for the project. To provide quality control and assurance, WJE also provided construction administration and observation support prior to and during the construction operations that implemented the repair design.

PROJECT PROFILE

Texas State Capitol

Austin, TX | Completed Project Cost: \$1.2M (Estimated)



PROJECT DESCRIPTION

Completed in 1888, the Texas Capitol was listed on the National Register of Historic Places in 1970 and was designated a National Historic Landmark in 1986. The structure is composed of load-bearing granite and limestone masonry, which extends to bedrock, and supports jack arch floor systems and built-up wrought-iron beams and trusses. The Capitol was comprehensively renovated in the 1990s, with a number of spaces restored to their 1915 appearance and grandeur. This restoration included installation of modern waterproofing systems below the encaustic tile floors of the north balconies and the east and west entrance terraces.

Throughout the years, moisture has been infiltrating through the exterior masonry and encaustic tile floors, as evidenced by damage to underlying plaster finishes, corrosion of wrought iron beams, efflorescence on limestone bearing walls, and corrosion staining on granite structure. Concerned that the moisture infiltration posed a threat to the long-term integrity of the underlying structural components, SPB selected WJE to assess and develop repair drawings for the existing waterproofing system, tile system, and underlying structural components.

WJE assessed the condition of the terraces and porches through visual observations, destructive

openings, and limited laboratory testing. Based on the findings, WJE recommended replacement of the existing, unreinforced waterproofing system, which was deteriorated, poorly adhered to the underlying substrates, and continuously exposed to standing water due to inadequate drainage.

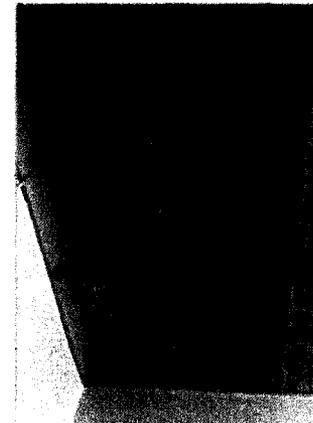
The full rehabilitation scope, as prepared by WJE, included abrasive blasting and coating of the wrought iron beams, repointing and re-plastering of the brick vaults, repair of the concrete decks, removal and replacement of the waterproofing systems, and removal and replacement of the tile system. The replacement of historic materials, such as the brick and plaster, were specified on the basis of petrographic analyses and physical testing. The waterproofing details included the use of reglets at the stone balustrades and walls to ensure proper termination and minimize future water infiltration.

WJE provided construction oversight and responded to a number of unforeseen conditions, including extensive spalling and cracking of the existing concrete decks and inadequate drainage slope within the existing porch substrates. WJE expeditiously detailed concrete deck repair and replacement details and employed creative flashing solutions to ensure that the new waterproofing and tile systems would fit within the confines of the historic terrace and porch geometry.

PROJECT PROFILE

St. Edward's Holy Cross & Main Halls

Austin, TX | Completed Project Cost: Unknown



PROJECT DESCRIPTION

Both Holy Cross Hall and Main Hall were constructed on the campus of St. Edward's University around 1903.

As part of a comprehensive building renovation and repurposing effort, St. Edward's University's resource manager and Architect retained WJE to investigate the historical structural system used to construct the 113-year-old building, analyze the historic materials used to construct it and an adjacent building, and provide guidance for architectural and structural repairs of the two buildings.

Upon realizing that University resources would be unable to perform such testing without delaying existing network repair schedules, WJE was retained to evaluate Holy Cross Hall and Main Hall with exceptionally short notice—less than 5 days between proposal initiation, notice to proceed, and initial on-site sampling. WJE performed

destructive testing of structural components of Holy Cross Hall, including collection of at least fifteen cores from three levels of low-strength concrete slabs and extraction of at least ten prisms from four levels of solid-masonry walls. WJE also collected mortar samples from Holy Cross Hall and Main Hall for later evaluation.

Concurrently with destructive sampling, WJE performed nondestructive evaluations of the reinforcing configuration in Holy Cross Hall. WJE then completed in-house laboratory evaluations of historic masonry mortar composition, cinder concrete strength, and brick-masonry composite strength. WJE recommended materials and methods for Contractor repair of the buildings' masonry facades. WJE also determined appropriate strengths and configurations of the structural brick and cinder concrete slabs for consideration during subsequent remodeling. WJE completed all testing, analysis, and reporting of results and recommendations within 5 weeks from initial University contact.

PROJECT PROFILE

Texas State's O'Henry Hall

Austin, TX | Completed Project Cost: \$650,000



PROJECT DESCRIPTION

O. Henry Hall is a historic building in the 6th Street District in downtown Austin, Texas. Construction of the building was originally completed in 1881 under the supervision of architect Abner Cook and it was added to the National Register of Historic Places in 1970. The Hall was recently sold by The University of Texas System to Texas State University System (TSUS).

Once purchased, TSUS completed a renovation at O. Henry Hall, with The Lawrence Group (LG) retained to develop construction documents and lead construction administration services during the project. It was reported that large, loose fragments of limestone were observed at the roof cornices after a prolonged freezing weather period at the end of 2017. The observation prompted concerns regarding the current condition of the cornice and potential hazards posed by the loose stone fragments. As such, WJE was retained by LG to perform an assessment of the cornices.

WJE was originally retained to perform an assessment of the cornice, but after an initial site visit that primarily involved a

visual review of selected limestone cornice regions, WJE recommended the need for an in-depth investigation. The limestone cornice exhibited distress shortly after several days of atypically cold weather. In addition to the freeze-induced cracking, WJE observed ferrous material embedded into the limestone cornice from previous repairs and damage attributed to water infiltration through the copper cornice cap.

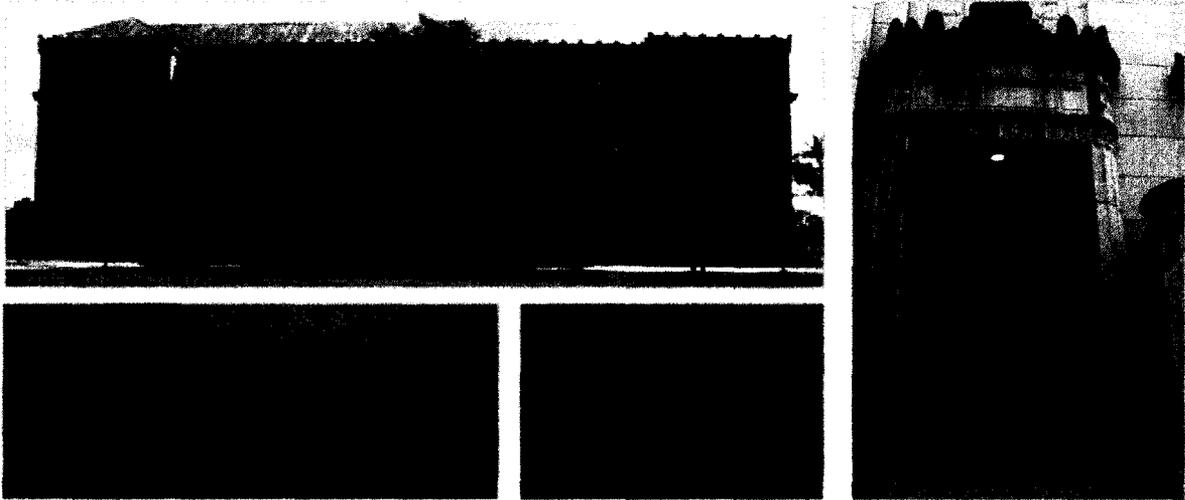
WJE's investigation included document review of historical drawings, field observations, and temporary exploratory openings to define the condition of the cornices, identify the cause(s) of distress, and design necessary repairs. Based on the investigation, WJE was able to identify primary distress mechanisms—spalling from successive freeze-thaw cycles and anchor corrosion. In addition to the root cause of distress, WJE identified secondary issues, which included minor spalls at cornice-edge cementitious repairs and internal atypical cracking of the limestone material. Upon completion of the assessment, WJE provided the Architect with a report and associated repair recommendations. During construction of the cornice repairs, WJE conducted construction observations.

PROJECT PROFILE

Texas A&M's JK Williams Admin Building

College Station, TX | Completed Project Cost: \$2.3M (Estimated)

WJE



PROJECT DESCRIPTION

The Jack K. Williams (JK Williams) Administration Building, a four-story building constructed in 1932, was designed in the Neo-Classical style with a copper mansard roof, a large exterior entrance portico, ionic columns, and a polished cast stone facade. Housing the office of the University President along with the Provost, the Executive Vice President of Finance and Operations, and the Executive Vice President of Marketing and Communications, the building is prominently positioned as a focal point when entering the Texas A&M University (TAMU) campus from the east.

In 2016, TAMU undertook a full restoration of the JK Williams Administration Building exterior, beginning with below-grade waterproofing and balustrade stabilizations in Phase I. For Phase II, SSC Services for Education (SSC), on behalf of TAMU, retained WJE to conduct a comprehensive assessment of the building exterior, including the cast stone facade, plaster portico ceiling, terrace paving systems, and terrace waterproofing systems.

WJE's primary focus was the restoration of the cast stone masonry, including replacing damaged cast stone, repointing of the exterior mortar, cleaning

of the exterior facade, restoration of the east portico ceiling, and replacement of sealant joints at punched window locations.

Using WJE's in-house tablet-based application that collects structured field notes and photos, WJE began the investigation by assessing and documenting the condition of the building exterior. Cleaning trials were then performed to assess the effectiveness of commercially-available biocides and detergents on the cast stone soiling and biological growth.

Samples of the historic materials, including the cast stone, mortar, and plaster finishes were collected for laboratory analysis. The samples were examined petrographically to define the condition and quality of each material, the finishes' history, and to provide a basis for the specification of compatible replacement materials.

WJE provided a prioritized set of restoration recommendations to TAMU, which included complete repointing of the masonry, selective repair and replacement of damaged masonry units, replacement of the exterior sealants, installation of terrace waterproofing, and restoration of the historic portico ceiling paint scheme. Currently, WJE is developing the restoration construction documents.

WJE Statement of Qualifications

CHALLENGES



Challenges

WJE specialists bring collective experience gained from conducting more than 125,000 investigations worldwide to address every type of construction challenge. Some challenges encountered during our relevant projects include the following:

Goliad County Courthouse

Goliad County Courthouse was in need of structural repair, window restoration, and site drainage improvements. The County was looking to secure funding for the project and may not have had available funds to perform the necessary work, including critical repairs. WJE developed a combined comprehensive emergency restoration grant application (specific to the critical repairs) and standard grant application (specific to the remaining necessary repairs) for the Texas Historic Courthouse Preservation Program. The application documented the architectural significance, original integrity, and the endangerment conditions of the existing courthouse, including load redistribution of one of the primary girders supporting a roof truss; poor storm water drainage; and fascia, roofing, and window deterioration. The application further articulated WJE's design approach to mitigating the conditions in a historically-sensitive manner, and documented the local support of the project. The grant application was successful in securing funding of the project from the THC, and the project is moving forward with construction.

Williamson County Courthouse

During the course of exterior restoration efforts at Williamson County Courthouse, WJE observed conditions in the concrete portico balconies that warranted additional repair. Upon removal of existing plaster from one of

the porticos, the bottom mat of reinforcing steel at the underside of the structural concrete slab was exposed and corroded. On the top side of the slab, several areas of delamination were observed in the parge coat applied over the structural slab. Because of these conditions, WJE performed additional assessment, non-destructive testing, and core sampling on the slab to investigate the observed conditions in greater detail. Based on the results of the assessment, WJE recommended full depth replacement of the portico balcony slabs, which provided a means to replace the corroded reinforcing steel, while providing a suitable substrate for a new waterproofing membrane. WJE performed the additional assessment, provided a report with recommendations, and developed additional construction details such that the repair contractor could perform the additional work in a timely manner.

Texas State Capitol

The Texas State Capitol project had specific challenges due to the unknown conditions below the existing waterproofing system. The nature and function of the Capitol building limit the amount and size of exploratory openings made to understand the as-built conditions. This in turn, required WJE to develop additional repair details and specifications during the initial phases of demolition to address the uncovered conditions and maintain the project schedule. The obvious historic importance of the Texas State Capitol and the various materials encountered, including limestone, granite, rubble fill, wrought-iron, clay tile and concrete, challenged our team to develop repair details that would not only perform over an extended period of time but would maintain the building's architectural history.

WJE Statement of Qualifications

CHALLENGES (CONT'D)



Texas State's O'Henry Hall

The O. Henry Hall project was viewed by ownership as a life safety hazard due the instability of the limestone cornice over a pedestrian thoroughfare in downtown, Austin, TX. WJE was asked to mobilize our team quickly to assess the condition of the limestone cornice and identify any areas that may be of an immediate danger. In conjunction with identifying immediate concerns, WJE developed a protocol for the removal and assessment of the remaining limestone cornice. After our initial site visit, WJE provided expedited documentation outlining the areas of the cornice that were of concern for the contractor to address. Once any loose material was removed, WJE continued with the investigation into the root cause of the distress which included deteriorated cementitious repairs, ferrous materials for stabilization, and distress in the limestone material from moisture related infiltration. Large sections of the limestone cornice were removed and replaced along with the installation of a new cornice cap to protect the underlying decorative elements.

References

PREVIOUS CLIENTS REFERENCES

Goliad County Courthouse

Client: Goliad County
Contact: Judge Mike Bennett, County Judge
Address & Phone: 361.645.3337
127 N Courthouse Square, Goliad, TX 77963

Refugio County Courthouse

Client: Komatsu Architecture
Contact: Karl Komatsu, Owner
Address & Phone: 817.332.1914
3880 Hulen St # 300, Fort Worth, TX 76107

Williamson County Courthouse

Client: Williamson County
Contact: Dale Butler, Senior Director of Facilities Management and Planning
Address & Phone: 512.943.1609
3101 SE Inner Loop Rd., Georgetown, TX 78626

Texas State Capitol

Client: State Preservation Board
Contact: Kevin Koch, Capitol Architect
Address & Phone: 512.463.5495
201 E 14th Street, Ste. 950, Austin, TX 78701

St. Edward's Holy Cross & Main Halls

Client: Benz Resources Group
Contact: Trina Miner, Project Manager
Address & Phone: 512.220.9542
1101-B E 6th St., Austin, TX 78702

Texas State's O'Henry Hall

Client: Lawrence Group
Contact: Earl Swisher, Principal
Address & Phone: 512.391.1932
900 E 6th St., Ste. 105, Austin, TX 78702

Texas A&M's JK Williams Admin Building

Client: SSC Service Solutions/Texas A&M University
Contact: John Cargill, Project Manager
Address & Phone: 979.436.6936
600 Agronomy Rd., Ste. 206, College Station, TX 77843

FINANCIAL REFERENCES

In addition to our bank reference listed below, we have included our most recent audited financial statement in Appendix B. The financial statement is included in lieu of an Accounting Reference because we maintain an internal accounting department and therefore do not have the requested reference.

Bank Reference

Bank: Wells Fargo Bank, N.A.
Contact: Michael Kirk, Relationship Associate
Address & Phone: 312.762.9001
10 S. Wacker Dr., 16th Floor, Chicago, IL 60606

WJE Statement of Qualifications INSURANCE



Insurance

Included below are our standard insurance specimens for Professional Liability and General Liability.

WJESJAH

DATE (MM/DD/YYYY)

ACORD CERTIFICATE OF LIABILITY INSURANCE

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER USI Insurance Services National, Inc. 10 S. Wacker, 17th floor Chicago, IL 60606 insured Wes. Jarvey, Elstner Associates, Inc. Attn: Sam Barbers 330 Plingsten Rd. Northbrook IL 60062	CONTACT PERSON Name: Sam Barbers Phone: 847-753-7211 Fax: 847-291-0371 Email: sbarbers@wje.com Address:
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INSURER(S) AFFORDING COVERAGE

INSURER A: Lloyd's of London
 INSURER B:
 INSURER C:
 INSURER D:
 INSURER E:
 INSURER F:

COVERAGES **CERTIFICATE NUMBER:** **REVISION NUMBER:** See below

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSURANCE TYPE	TYPE OF INSURANCE	APPLICABLE PERIOD	POLICY NUMBER	POLICY EFFECTIVE DATE	POLICY EXPIRATION DATE	LIMITS
COMMERCIAL GENERAL LIABILITY	CLAIMS-MADE OCCUR					EACH OCCURRENCE AGGREGATE PER POLICY PERIOD MED EXP (Any one person) PERSONAL & ADV INJURY GENERAL AGGREGATE PRODUCTS - COMP/OP AGG
	GEN'L AGGREGATE LIMIT APPLIES PER POLICY <input type="checkbox"/> PRO <input type="checkbox"/> LOC					
AUTOMOBILE LIABILITY	ANY AUTO					COMBINED SINGLE LIMIT BODILY INJURY (Per person) BODILY INJURY (Per accident) PROPERTY DAMAGE (Per accident)
	DRIVEN AUTOS ONLY SCHEDULED AUTOS RENTED AUTOS ONLY NON-OWNED AUTOS ONLY AUTOS ONLY					
UMBRELLA LIAB	OCCUR					EACH OCCURRENCE
EXCESS LIAB	CLAIMS-MADE					AGGREGATE
DED	RETENTIONS					PER STATUTE OR PER E.L. EACH ACCIDENT E.L. DISEASE - EA EMPLOYEE E.L. DISEASE - POLICY LIMIT
A	Professional Liability (Claims Made)		W1735E190501	01/01/2019	01/01/2021	\$1,000,000 Per Claim \$1,000,000 Annual Agg

DESCRIPTION OF OPERATIONS / LOCATIONS / SERVICES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

FOR INFORMATIONAL PURPOSES

\$50,000 deductible per claim

CERTIFICATE HOLDER	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
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WJE Statement of Qualifications INSURANCE (CONT'D)



17769

ACORD **CERTIFICATE OF LIABILITY INSURANCE** DATE (mm/dd/yyyy)

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER USI Insurance Services National, Inc. 10 S. Wacker, 17th floor Chicago, IL 60606 INSURED Wm. Jannay, Elstner Associates, Inc. Attn: Sam Barbara 330 Pfingsten Rd. Northbrook IL 60062	CONTRACT NUMBER: Sam Barbara PHONE (A/C): 847-753-7211 FAX (A/C): 847-291-6371 E-MAIL: sbarbara@wje.com INSURING AFFORDING COVERAGE <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>INSURER A:</th> <th>INSURER B:</th> <th>INSURER C:</th> <th>INSURER D:</th> <th>INSURER E:</th> <th>INSURER F:</th> <th>NAIC #</th> </tr> <tr> <td>Charter Oak Fire Insurance Co.</td> <td>Travelers Property Casualty Co of America</td> <td>United States Fire Insurance Company</td> <td></td> <td></td> <td></td> <td>25615 25674 21113</td> </tr> </table>	INSURER A:	INSURER B:	INSURER C:	INSURER D:	INSURER E:	INSURER F:	NAIC #	Charter Oak Fire Insurance Co.	Travelers Property Casualty Co of America	United States Fire Insurance Company				25615 25674 21113
INSURER A:	INSURER B:	INSURER C:	INSURER D:	INSURER E:	INSURER F:	NAIC #									
Charter Oak Fire Insurance Co.	Travelers Property Casualty Co of America	United States Fire Insurance Company				25615 25674 21113									

COVERAGES **CERTIFICATE NUMBER:** **REVISION NUMBER:** See below

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

LINE	TYPE OF INSURANCE	DESCRIPTION PERIOD	POLICY NUMBER	ISSUANCE DATE	EXPIRATION DATE	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO. SGT. <input type="checkbox"/> LOC. OTHER:		P-630-6386C258-COF-18	01/1/2018	1/2/2019	SOF/OCCURRENCE \$ 1,000,000 SOF/CLAIMS-MADE \$ 200,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 3,000,000 PRODUCTS - COMP/OP ADD \$ 2,000,000
B	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> AUTO ONLY <input checked="" type="checkbox"/> UNLICENSED OPERATOR <input checked="" type="checkbox"/> AUTO ONLY <input checked="" type="checkbox"/> AUTO ONLY <input checked="" type="checkbox"/> COMP/COB <input checked="" type="checkbox"/> \$1,000 Ded. UMBRELLA LIMB <input type="checkbox"/> OCCUR EXCESS LIMB <input type="checkbox"/> CLAIMS-MADE COB <input type="checkbox"/> RETENTION \$		P-810-6386C258-TL-V	01/1/2018	01/1/2019	COMB'D BODILY LIMB \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ UMBRELLA \$ EXCESS \$ AGGREGATE \$
C	WORKERS COMPENSATION AND EMPLOYERS LIABILITY EMPLOYERS EXCLUDED? (Mandatory in IL) If yes, specify code: DESCRIPTION OF OPERATION:		P-734056	06/01/2018	06/01/2019	<input checked="" type="checkbox"/> STATUTE <input type="checkbox"/> OTHER \$1 EACH ACCIDENT \$ 1,000,000 \$1 DISEASE - EA EMPLOYEE \$ 1,000,000 \$1 DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER	CANCELLATION
	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE

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APPENDIX A - CAPABILITY PROFILES

WJE | ENGINEERS
ARCHITECTS
MATERIALS SCIENTISTS

Wiss, Janney, Elstner Associates, Inc.



SERVICE PROFILE

Materials Evaluation and Testing



- Comprehensive construction materials testing and analysis
- Failure investigation
- Materials preservation and conservation
- Materials research
- New product evaluation
- Inorganic/organic chemistry
- Analytical chemistry
- Petrographic evaluation
- Metallurgical testing
- Thermal analysis
- Engineering criticality assessment and fitness-for-service

When materials fail, structures can fail or become damaged. WJE's materials scientists provide comprehensive consulting services for the evaluation and testing of construction materials—both new and old. A full range of services in petrography, metallurgy, microscopy, analytical chemistry, organic and inorganic chemistry, and physical testing of materials are offered in WJE's Janney Technical Center in Northbrook, Illinois, and in branch office laboratory facilities in Austin, Texas, and Cleveland, Ohio.

The combination of comprehensive materials science expertise with engineering and architectural capabilities uniquely positions and qualifies WJE to deliver innovative yet sound solutions to construction materials problems. Using state-of-the-art evaluation methods, many of which were pioneered at WJE, the firm's materials scientists have a long history of performing foundational materials-related research and have solved thousands of construction materials problems, answering such questions as "Why did it fail?" and "How long will it last?" and "How can it be fixed?"



WJE | ENGINEERS
ARCHITECTS
MATERIALS SCIENTISTS



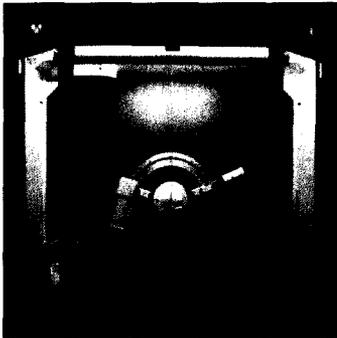


SERVICE PROFILE

Materials Evaluation and Testing

REPRESENTATIVE PROJECTS

- Aloha Stadium - Honolulu, HI: Planning study and rehabilitation recommendations for weathering steel
- Continuum Parking Garage - Austin, TX: Deterioration investigation and repair materials specification
- Federal Highway Administration - Savoy, IL: Evaluation of treatments for mitigating alkali-silica reaction in concrete pavements
- Georgia State Capitol - Atlanta, GA: Cleaning and material studies for building facade
- I-10 Bridge over Lake Pontchartrain - New Orleans, LA, and Slidell, LA: AASHTO T277 chloride ion resistance testing
- Palo Verde Nuclear Generating Station - Tonopah, AZ: Mechanical draft cooling towers condition assessment
- Soldier Field - Chicago, IL: Corrosion mitigation testing for historic concrete elements
- Ascension Saint Clare's Hospital - Weston, WI: Condensation investigation and repair design
- Texas Governor's Mansion - Austin, TX: Materials assessment of load-bearing masonry walls
- Wacker Drive - Chicago, IL: Development of high-performance concrete and validation testing of durability performance for bridge reconstruction



PERSONNEL QUALIFICATIONS

Carl J. Larosche | Principal

WJE

EDUCATION

- The University of Texas at Austin
 - Bachelor of Science in Civil Engineering, 1993
 - Master of Science, Structural Engineering, 1999

REGISTRATIONS & CERTIFICATIONS

- Professional Engineer in AL, AR, AZ, CO, FL, ID, KS, LA, MO, NM, OH, OK, and TX (TBPE #91870)
- AWS Certified Welding Inspector

PRACTICE AREAS

- Historic Preservation
- Rehabilitation/Repair Design
- Structural Evaluation
- Civil Infrastructure
- Litigation Consulting

PROFESSIONAL AFFILIATIONS

- American Concrete Institute (ACI), Fellow
- The Association for Preservation Technology (APT)
- International Concrete Repair Institute (ICRI)
- American Welding Society (AWS)



BACKGROUND

Carl Larosche joined WJE in 2004 with over 20 years of experience specializing in consulting services for the preservation and restoration of historic and existing structures. In addition to his preservation work, Mr. Larosche has extensive experience in building envelope, including traditional building materials as well as current state-of-the-art materials.

Phone: 512.257.4800

Email: clarosche@wje.com

www.wje.com

Prior to WJE, Mr. Larosche was a Principal of Sparks, Larosche & Associates and worked for The Texas Department of Transportation (TxDOT).

Mr. Larosche's diverse background includes structural design, investigation, and evaluation of existing structures and materials. He has successfully combined his broad construction background with his knowledge of material behavior in existing structures to provide rare insight and knowledge in the area of masonry, concrete, and steel evaluation, including strengthening and repair of these materials.

REPRESENTATIVE PROJECTS

- **Texas State Capitol (c. 1853) - Austin, TX:** Assessment, repair design, and construction administration services, related to restoration of brick arches, plaster, and entrance terraces
- **O'Henry Hall (c. 1879), Texas State University - Austin, TX:** Assessment of limestone cornice deterioration, evaluation, and repair recommendations for historic building
- **Williamson County Courthouse (c. 1911) - Georgetown, TX:** Condition assessment of brickwork and design for brick re-pointing and repair
- **JK Williams Admin Building (c. 1932), Texas A&M University - College Station, TX:** Exterior assessment and rehabilitation design
- **Bexar County Courthouse (c. 1896) - San Antonio, TX:** Historic preservation/restoration consulting and structural design services
- **Lee County Courthouse (c. 1898) - Giddings, TX:** Comprehensive assessment and repair design to address settlement-related distress and development of restoration master plan
- **Nueces County Courthouse (c. 1914) - Corpus Christi, TX:** Comprehensive assessment and restoration design
- **St. Mary's Cathedral (c. 1884) - Austin, TX:** Assessment of stone spire to assist with development of restoration of historic cathedral
- **Fort Worth Post Office (c. 1933) - Fort Worth, TX:** Condition assessment of exterior stone and envelope, roofing system, and interior public spaces
- **Lyndon Baines Johnson Presidential Library (c. 1970), University of Texas at Austin:** Comprehensive assessment, investigation, instrumentation, and restoration design for the building's tenth floor, terraces, and plaza

PERSONNEL QUALIFICATIONS

Justin Boone | Associate Principal



EDUCATION

- Rice University
 - Bachelor of Arts, Architecture, 2001
 - Bachelor of Architecture, 2002

REGISTRATIONS & CERTIFICATIONS

- Architect in FL, LA, and TX (TBAE# 20292)
- Construction Document Technologist
- LEED Accredited Professional
- National Council of Architectural Registration Boards Certificate

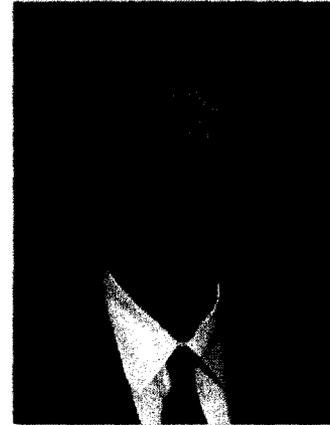
PRACTICE AREAS

- Building Science
- Peer Review
- Repair and Rehabilitation Design

- Roofing and Waterproofing
- Building Enclosure Commissioning
- Forensic Investigation
- Field Testing

PROFESSIONAL AFFILIATIONS

- American Institute of Architects (AIA)
- Building Enclosure Council (BEC)
 - Past President, Houston Chapter
 - National Executive Committee
- Building Enclosure Technology and Environment Council (BETEC), Board Member
- International Institute of Building Enclosure Consultants (IBEC)
- Texas Society of Architects



Phone: 832.467.2177
Email: jboone@wje.com
www.wje.com

BACKGROUND

Justin Boone has broad-based experience in enclosure design, peer design review, field-based evaluation, testing, and project management. His expertise includes the design of high-performance building enclosure systems, building enclosure commissioning, and forensic analysis of existing buildings with enclosure-related deficiencies. Mr. Boone also focuses on the application of proven building science fundamentals to produce high-performance climate-specific systems.

Prior to joining WJE in 2010, Mr. Boone worked for a building science consulting firm in Houston, Texas, and several architectural design-build firms, where he worked on architectural design projects, including multifamily residential, retail, restaurant, high-rise, renovation, and historic rehabilitation. In addition, he was the construction manager and general contractor on numerous residential, retail, and renovation projects with budgets ranging from \$100,000 to more than \$2 million.

REPRESENTATIVE PROJECTS

- **Zapata County Courthouse - Zapata, TX:** Investigation of roof system moisture intrusion
- **Hobby Airport - Houston, TX:** Long-term quality assurance observations and detailing assistance for re-roofing and waterproofing
- **M.D. Anderson Faculty Center - Houston, TX:** Design and quality assurance observation for roof replacement
- **Broward General Medical Center - Ft. Lauderdale, FL:** Diagnostic air pressurization testing and air leakage investigation
- **High-Rise Condominium - Padre Island, TX:** Investigation of blown-off roof as a result of a hurricane event
- **Multi-facility Hospital Roofing Evaluation - U.S. Gulf Coast:** Negative pressure roof uplift testing and evaluation of nine hospital facilities

PERSONNEL QUALIFICATIONS

Jeff Garrison | Associate Principal



EDUCATION

- Texas A&M University, Bachelor of Science, Civil Engineering, 1998

REGISTRATIONS & CERTIFICATIONS

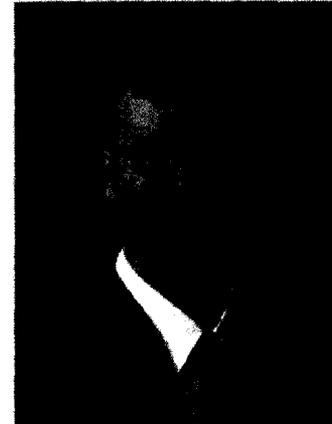
- Professional Engineer in TX (TBPE #95673)
- Registered Roof Consultant
- Registered Waterproofing Consultant
- Certified Infrared Thermographer
- Certified EIFS Inspector
- Construction Documents Technologist

PRACTICE AREAS

- Roofing and Waterproofing
- Repair and Rehabilitation Design
- Peer Review
- Leakage Investigation
- Facade Assessment
- EIFS and Stucco Systems

PROFESSIONAL AFFILIATIONS

- American Society of Civil Engineers (ASCE)
- ASTM International (ASTM)
- International Institute of Building Enclosure Consultants (IEBC)



Phone: 832.467.2177

Email: jgarrison@wje.com

www.wje.com

BACKGROUND

Jeff Garrison is experienced in the investigation and repair of roofing, waterproofing, and exterior cladding systems. He has worked on projects that have included all types of low-slope roofing systems, architectural and structural metal panel systems, and steep slope roofing applications. Mr. Garrison also has experience with below-grade waterproofing, including hot-fluid applied systems, single-ply membrane systems, and bentonite waterproofing.

Mr. Garrison's project experience also includes performance and diagnostic testing of the exterior envelope, failure and damage investigations, contract administration services, and quality assurance observations on new and existing structures. He has also provided renovation design services, litigation support, and peer review services for a wide range of projects. Before joining WJE in 2010, Mr. Garrison worked 13 years for a building envelope consulting firm in Houston, Texas.

REPRESENTATIVE PROJECTS

- **Houston Methodist Hospital North Tower Expansion - Houston, TX:** Roofing and exterior walls peer review
- **The Pavilion, MD Anderson Cancer Center - Houston, TX:** Roofing system design
- **Alvin R. Luedecke Building, Texas A&M University - College Station, TX:** Roofing system design peer review for building expansion
- **Commons Building Renovations and Additions, Texas A&M University - College Station, TX:** Roofing system design peer review
- **Mosaic on Hermann Park - Houston, TX:** Investigation of curtain wall system and source(s) for water infiltration
- **Orchard Park - Houston, TX:** Investigation of brick masonry distress in mid-rise multifamily complex
- **Property Condition Assessments - Dallas and Houston, TX and Miami, FL:** Visual assessment of exterior walls and window systems using rope access and suspended scaffolding
- **Il Palazzo - Houston, TX:** Construction documents development for EIFS and waterproofing renovation
- **Memorial Hermann Hospital - The Woodlands, TX:** Investigation of windows and stucco wall systems, and development of remediation construction documents
- **2001 Kirby Drive - Houston, TX:** Construction documents for parking garage deck and planter waterproofing renovation
- **New Parkland Hospital - Dallas, TX:** Roofing system design peer review

PERSONNEL QUALIFICATIONS

Stephen Foster | Senior Associate



EDUCATION

- The University of Texas at Austin
 - Bachelor of Science, Architectural Engineering, 2008
 - Master of Science, Architectural Engineering, 2010

REGISTRATIONS & CERTIFICATIONS

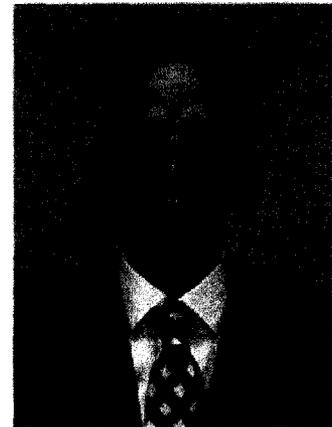
- Professional Engineer in TX (TBPE #116280)
- Structural Engineer in AZ
- NACE Coating Inspector Level 2 - Certified
- NACE CP2 - Cathodic Protection Technician

PRACTICE AREAS

- Historic Preservation
- Repair and Rehabilitation Design
- Structural Evaluation
- Corrosion Protection
- Construction Observation Services
- Failure/Disaster Investigations
- Litigation Consulting

PROFESSIONAL AFFILIATIONS

- American Concrete Institute (ACI)
- International Concrete Repair Institute (ICRI)
- National Association of Corrosion Engineers (NACE)



Phone: 512.257.4800
Email: sfoster@wje.com
www.wje.com

BACKGROUND

Since joining WJE in 2010, Stephen Foster has been involved in the evaluation, design, and rehabilitation of numerous engineering projects, including concrete, steel, wood, and masonry structures. Mr. Foster has performed assessments related to corrosion distress, design and construction deficiencies, foundation-related movement, and leakage distress. Mr. Foster is experienced with preparing construction documents and has performed construction administration work on several repair projects, including experience with numerous field testing and ASTM procedures. He also has experience and specialized NACE training for assessment, specification, and quality assurance inspection of concrete and steel coating systems.

Prior to joining WJE, Mr. Foster worked as a graduate research assistant investigating the optimization of bridge deck reinforcement for a research project sponsored by the Texas Department of Transportation. While at The University of Texas, he worked as a field engineer with a general contractor and as a structural designer with an architectural engineering firm.

REPRESENTATIVE PROJECTS

- **Holy Cross Hall, St. Edwards University (ca. 1903) - Austin, TX:** Material evaluation and non-destructive evaluation of historic brick and cinder concrete
- **Goliad County Courthouse (ca. 1894) - Giddings, TX:** Structural condition assessment, site survey and design of roof framing repairs and site storm water modifications
- **Williamson County Courthouse (c. 1911) - Georgetown, TX:** Rehabilitation of corroded steel lintels, historic light poles, historic masonry, and terra cotta
- **Texas State Capitol (c. 1853) - Austin, TX:** Assessment and repair design of water intrusion and corrosion of historic iron beams
- **Lee County Courthouse (c. 1898) - Giddings, TX:** Foundation stabilization and structural repairs
- **County Administration Building - Houston, TX:** Quality control inspections and testing of carbon fiber repairs
- **French Legation Museum (ca. 1899) - Austin, TX:** Structural evaluation and rehabilitation design of wood structural systems
- **Army Medical Hospital - Killeen, TX:** Construction observations of concrete column repairs
- **Navajo Generating Station - Page, AZ:** Inspection of boiler system scaffold installation
- **Cooling Tower Basin - Austin, TX:** Condition assessment and nondestructive evaluation of corrosion-induced concrete distress

PERSONNEL QUALIFICATIONS

Christopher McInnis | Associate III



EDUCATION

- Virginia Polytechnic Institute and State University, Bachelor of Architecture, 2015

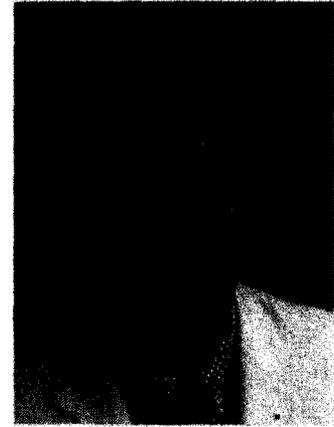
PRACTICE AREAS

- Historic Preservation
- Repair and Rehabilitation Design
- Building Enclosure Consulting
- Building Enclosure Testing

- Construction Troubleshooting
- Roofing and Waterproofing
- Failure/Damage Investigations

PROFESSIONAL AFFILIATIONS

- American Institute of Architects (AIA)
- The Association for Preservation Technology International (APT)
- Preservation Austin



BACKGROUND

Since joining WJE in 2015, Christopher McInnis has worked on numerous evaluations of building enclosure systems including brick masonry, granite, limestone, metal cladding and glass tile. Mr. McInnis has concentrated his experiences on material analysis, building envelope thermal performance,

Phone: 512.257.4800
Email: cmcinnis@wje.com
www.wje.com

repair design and restoration, document peer review, performance testing, and construction period services. His project experiences have included institutional, commercial and residential projects as well as historic structures. Mr. McInnis has performed building envelope consulting services for multiple building types throughout the Central Texas and Washington D.C. region.

Prior to joining WJE, Mr. McInnis had 7 years of experience as an owner contractor in southeastern Virginia area that specialized in permeable paving systems, site development, and segmental retaining walls.

REPRESENTATIVE PROJECTS

- **Texas State Capitol (c. 1853) - Austin, TX:** Assessment, repair design, and construction administration services, related to restoration of brick arches, plaster, and entrance terraces
- **Refugio County Courthouse (c. 1917) - Refugio, TX:** Feasibility study for preservation of historic courthouse
- **O'Henry Hall (c. 1879), Texas State University - Austin, TX:** Assessment of limestone cornice deterioration, evaluation, and repair recommendations for historic building
- **JK Williams Admin Building (c. 1932), Texas A&M University - College Station, TX:** Exterior assessment and rehabilitation design
- **Lee County Courthouse (c. 1898) - Giddings, TX:** Construction administration services related to brick and stone masonry repairs
- **Robert F. Kennedy Fountain, Arlington National Cemetery - Washington, D.C.:** Leak investigation and development of repair construction documents
- **Battle Hall Architecture Library (c. 1910), University of Texas at Austin - Austin, TX:** Assessment and repair documents for clay tile roof replacement assessment
- **Art Deco Wall Tile Restoration - Austin, TX:** Development of repair construction documents and specifications
- **EPIcenter - San Antonio, TX:** Assessment of below-grade waterproofing conditions for repurpose of a power plant
- **Collections and Conservation Lab, U.S. Holocaust Memorial Museum - Bowie, MD:** Product evaluation of waterproofing materials, insulated roof panel assessment and design, and building enclosure commissioning of climate controlled environment
- **U.S. Embassy - Mexico City, Mexico:** Construction administration services related to building enclosure and waterproofing systems

PERSONNEL QUALIFICATIONS

Dean Deschenes | Associate III



EDUCATION

- Lehigh University
 - Bachelor of Science, Civil Engineering, 2006
- The University of Texas at Austin
 - Master of Science, Structural Engineering, 2009

PRACTICE AREAS

- Historic Preservation
- Repair and Rehabilitation

- Structural Evaluation
- Nuclear Facilities
- Litigation Consulting
- Research and Testing

PROFESSIONAL AFFILIATIONS

- American Concrete Institute (ACI)
- American Society of Civil Engineers (ASCE)



BACKGROUND

Since joining WJE in 2016, Dean Deschenes has been involved in a variety of different assessments of new and existing structures. His project work experience includes the evaluation, design and rehabilitation of concrete, masonry and wood structures.

Phone: 512.257.4800
Email: ddeschenes@wje.com
www.wje.com

Prior to joining WJE, Mr. Deschenes worked as a research associate and manager at both commercial and university laboratories. His research focused on the behavior, strength and aging management of reinforced and prestressed concrete structures. His research was geared toward improving code predictions of prestress loss and shear strength, and he also extensively studied the structural implications of alkali-silica reaction (ASR) and delayed ettringite formation (DEF).

REPRESENTATIVE PROJECTS

- **Texas State Capitol (c. 1853) - Austin, TX:** Assessment, repair design, and construction administration services, related to terrace waterproofing and cracked granite lintel repairs
- **Refugio County Courthouse (c. 1917) - Refugio, TX:** Feasibility study for preservation of historic courthouse
- **Goliad County Courthouse (c. 1894) - Goliad, TX:** Structural evaluation, repair design, and Texas Historic Commission Grant Application assistance
- **JK Williams Admin Building (c. 1932), Texas A&M University - College Station, TX:** Exterior assessment and rehabilitation design
- **O'Henry Hall (c. 1879), Texas State University - Austin, TX:** Assessment of limestone cornice deterioration, evaluation, and repair recommendations for historic building
- **Lee County Courthouse (c. 1898) - Giddings, TX:** Construction administration services related to brick and stone masonry repairs and sidewalk repairs
- **Coryell County Courthouse (c. 1898) - Gatesville, TX:** Roof leak investigation
- **Battle Hall Architecture Library (c. 1910), University of Texas at Austin - Austin, TX:** Assessment and repair documents for clay tile roof replacement assessment
- **Plaza Hotel (c. 1930) - El Paso, TX:** Facade assessment
- **Jackson-Shaver Hall, Sam Houston State University - Huntsville, TX:** Development of repair documents for masonry facade distress
- **Precast Concrete Parking Garage - TX:** Condition assessment and conceptual repair recommendations related to double-tee distress
- **Effects of New Prestress Loss Provisions:** Analytical and experimental research to assess conservatism and accuracy of codified prestress loss estimation methods
- **Structural Implications of ASR/DEF in Bridge Bent Caps:** Large-scale experimental research to assess the effect of ASR and DEF in reinforced concrete bent caps

PERSONNEL QUALIFICATIONS

Urmila Srinivasan | Associate II



EDUCATION

- CEPT University, India
 - Bachelor of Architecture, 2002
- Texas A&M University
 - Master of Science in Architecture, History and Theory, 2009
- The University of Texas at Austin
 - Master of Architecture, Historic Preservation, 2014

REGISTRATIONS & CERTIFICATIONS

- LEED AP

PRACTICE AREAS

- Historic Preservation
- Repair and Rehabilitation
- Peer Review
- Failure/Damage Investigation

PROFESSIONAL AFFILIATIONS

- Association for Preservation Technology International (APT)



BACKGROUND

Urmila Srinivasan joined WJE in 2017 and has worked on restoration of historic buildings, peer reviews for new construction, and condition assessment for existing buildings. Ms. Srinivasan has participated in archival research and National Register nominations as part of her academic work. She has presented her academic work at the

Association for Preservation Technology International annual conference, and the National Trust for Historic Preservation's annual conference. Her previous experience as an Architectural Associate includes developing construction documents, coordinating consultants, preparing client presentations, and working with the city on permits for facade and interior renovation projects.

Phone: 832.467.2177

Email: usrinivasan@wje.com

www.wje.com

REPRESENTATIVE PROJECTS

- **Fort Bend County Courthouse Restoration (c. 1908) - Houston, TX:** Performed window assessment and developed construction documents for the restoration*
- **Humble Marriott Building (c. 1922) - Houston, TX:** Construction documents and construction observation for exterior wall repairs of historic landmark
- **St. Paul's United Methodist Church (c. 1909) - Houston, TX:** Investigation and recommendation of masonry repairs for water infiltration for the historic cathedral
- **Harris Health System - Houston, TX:** Developed construction documents for exterior wall recladding and a new roof for a building constructed in 1965*
- **Four Houston Center - Houston, TX:** Developed specification for roof repairs
- **Cameron Building, University of Houston - Houston, TX:** Development of construction documents for stucco repairs and punched windows
- **Houston Methodist Hospital - San Jacinto, TX:** Review of roofing design
- **Armand Bayou Elementary School - Clear Lake, TX:** Review of roofing design
- **The Hayworth - Houston, TX:** Assessment of glass damage for an eight-story multi-family residential complex
- **Courtyard Houston by the Galleria - Houston, TX:** Assessment of windows and stucco repairs for a fifteen-story hotel building
- **Armand Bayou Elementary School - Clear Lake, TX:** Review of roofing design

**Indicates work with previous firms*

***APPENDIX C - 2018 AUDITED
FINANCIAL STATEMENT***



Wiss, Janney, Elstner Associates, Inc.

CONFIDENTIAL

***Wiss, Janney, Elstner
Associates, Inc.***

**Consolidated Financial Statements and
Independent Auditor's Report**

December 31, 2018 and 2017



	Page
INDEPENDENT AUDITOR'S REPORT	1
CONSOLIDATED FINANCIAL STATEMENTS	
Consolidated Balance Sheets	3
Consolidated Statements of Operations	4
Consolidated Statements of Comprehensive Income	5
Consolidated Statements of Changes in Stockholders' Equity	6
Consolidated Statements of Cash Flows	7
Notes to the Consolidated Financial Statements	8
Appendix A - Supplemental Consolidating Financial Statements	22



INDEPENDENT AUDITOR'S REPORT

Identifying opportunities.
Delivering solutions.

Board of Directors
Wiss, Janney, Elstner Associates, Inc.

Report on the Consolidated Financial Statements

We have audited the accompanying consolidated financial statements of Wiss, Janney, Elstner Associates, Inc. (the "Corporation"), which comprise the consolidated balance sheets as of December 31, 2018 and 2017, and the related consolidated statements of operations, comprehensive income, changes in stockholders' equity, and cash flows for the years then ended, and the related notes to the financial statements.

Management's Responsibility for the Consolidated Financial Statements

Management is responsible for the preparation and fair presentation of these consolidated financial statements in accordance with accounting principles generally accepted in the United States of America; this includes the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of consolidated financial statements that are free from material misstatement, whether due to fraud or error.

Auditor's Responsibility

Our responsibility is to express an opinion on these consolidated financial statements based on our audits. We conducted our audits in accordance with auditing standards generally accepted in the United States of America. Those standards require that we plan and perform the audit to obtain reasonable assurance about whether the consolidated financial statements are free from material misstatement.

An audit involves performing procedures to obtain audit evidence about the amounts and disclosures in the consolidated financial statements. The procedures selected depend on the auditor's judgment, including the assessment of the risks of material misstatement of the consolidated financial statements, whether due to fraud or error. In making those risk assessments, the auditor considers internal control relevant to the Corporation's preparation and fair presentation of the consolidated financial statements in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the Corporation's internal control. Accordingly, we express no such opinion. An audit also includes evaluating the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluating the overall presentation of the consolidated financial statements.

We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinion.

CONFIDENTIAL

Opinion

In our opinion, the consolidated financial statements referred to above present fairly, in all material respects, the financial position of Wiss, Janney, Elstner Associates, Inc. as of December 31, 2018 and 2017, and the results of its operations and its cash flows for the years then ended in accordance with accounting principles generally accepted in the United States of America.

Supplementary Information

The accompanying supplemental consolidating financial statements in Appendix A are presented for purposes of additional analysis and are not a required part of the consolidated financial statements. Such information is the responsibility of management and was derived from and relates directly to the underlying accounting and other records used to prepare the consolidated financial statements. The information has been subjected to the auditing procedures applied in the audit of the consolidated financial statements and certain other procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the consolidated financial statements or to the consolidated financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America. In our opinion, the information is fairly stated in all material respects in relation to the consolidated financial statements as a whole.

FGMK, LLC

Bannockburn, Illinois

March 13, 2019

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

CONSOLIDATED BALANCE SHEETS
DECEMBER 31, 2018 AND 2017

ASSETS		
	<u>2018</u>	<u>2017</u>
ASSETS		
Cash and cash equivalents	\$ 9,329,300	\$ 13,167,100
Receivables	45,716,200	44,458,500
Employee notes receivable	8,566,500	6,035,700
Property and equipment	48,935,100	43,100,000
Other assets	3,670,700	4,067,100
TOTAL ASSETS	\$ 116,217,800	\$ 110,828,400
LIABILITIES AND STOCKHOLDERS' EQUITY		
LIABILITIES		
Debt	\$ 16,971,700	\$ 22,676,700
Accounts payable	1,837,800	626,500
Accrued expenses	27,301,700	26,012,700
Advance billings	7,121,000	6,442,000
Deferred income taxes	2,447,400	1,670,300
Postretirement medical benefits	8,145,400	8,249,000
Other liabilities	4,729,300	2,566,400
TOTAL LIABILITIES	68,554,300	68,243,600
STOCKHOLDERS' EQUITY		
Common stock	24,400	23,100
Additional paid-in capital	22,319,000	19,941,000
Retained earnings	25,530,000	23,334,600
Accumulated other comprehensive loss	(318,200)	(817,100)
Noncontrolling interest in affiliate	108,300	103,200
TOTAL STOCKHOLDERS' EQUITY	47,663,500	42,584,800
TOTAL LIABILITIES AND STOCKHOLDERS' EQUITY	\$ 116,217,800	\$ 110,828,400

The accompanying notes are an integral part of these statements.

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

CONSOLIDATED STATEMENTS OF OPERATIONS
YEARS ENDED DECEMBER 31, 2018 AND 2017

	2018	2017
REVENUES		
Professional services fees	\$ 166,160,100	\$ 150,883,800
Adjustments to fees	(12,089,000)	(10,991,400)
Net fees	154,071,100	139,892,400
Other revenues	1,575,900	1,558,100
Total net revenues	<u>155,647,000</u>	<u>141,450,500</u>
OPERATING EXPENSES		
Salaries	72,635,300	67,811,100
Employee benefits	20,249,300	19,735,000
Facilities	11,652,700	10,063,900
Professional development	5,074,000	4,167,800
Depreciation and amortization	4,905,000	3,169,000
Receivables allowances and write-offs	1,732,700	590,400
Technology	1,648,000	1,284,500
Professional fees	1,633,200	1,021,700
Business insurance	1,026,600	1,003,300
Marketing and advertising	904,500	698,300
Miscellaneous	2,205,400	2,174,100
Total operating expenses	<u>123,666,700</u>	<u>111,719,100</u>
INCOME AFTER OPERATING EXPENSES	<u>31,980,300</u>	<u>29,731,400</u>
DISCRETIONARY OPERATING EXPENSES		
Incentive and bonus	26,729,500	23,869,400
Postretirement benefits	922,500	760,300
Total discretionary operating expenses	<u>27,652,000</u>	<u>24,629,700</u>
INCOME FROM OPERATIONS	<u>4,328,300</u>	<u>5,101,700</u>
OTHER EXPENSES		
Net interest expense	467,200	328,400
Loss on disposal of property and equipment, net	163,600	702,500
Other taxes and fees	395,600	480,800
Total other expenses	<u>1,026,400</u>	<u>1,511,700</u>
PRE-TAX INCOME	<u>3,301,900</u>	<u>3,590,000</u>
Income tax provision (benefit)	<u>1,101,400</u>	<u>(259,800)</u>
NET INCOME	<u>\$ 2,200,500</u>	<u>\$ 3,849,800</u>
Controlling interest share of net income	\$ 2,195,400	\$ 3,837,300
Noncontrolling interest share of net income	5,100	12,500
Net income	<u>\$ 2,200,500</u>	<u>\$ 3,849,800</u>

The accompanying notes are an integral part of these statements.

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

CONSOLIDATED STATEMENTS OF COMPREHENSIVE INCOME
YEARS ENDED DECEMBER 31, 2018 AND 2017

	<u>2018</u>	<u>2017</u>
NET INCOME	\$ 2,200,500	\$ 3,849,800
OTHER COMPREHENSIVE INCOME (LOSS), NET-OF-TAX		
Postretirement medical benefits:		
Prior service cost	8,000	8,000
Net actuarial gain (loss)	474,400	(362,300)
Mark-to-market gain on interest rate swap contracts	16,500	123,100
OTHER COMPREHENSIVE INCOME (LOSS)	498,900	(231,200)
COMPREHENSIVE INCOME	\$ 2,699,400	\$ 3,618,600
Controlling interest share of comprehensive income	\$ 2,694,300	\$ 3,606,100
Noncontrolling interest share of comprehensive income	5,100	12,500
COMPREHENSIVE INCOME	\$ 2,699,400	\$ 3,618,600

The accompanying notes are an integral part of these statements.

**CONSOLIDATED STATEMENTS OF CHANGES IN STOCKHOLDERS' EQUITY
YEARS ENDED DECEMBER 31, 2018 AND 2017**

	Common Stock *		Additional Paid-in Capital	Retained Earnings	Accumulated Other Comprehensive Loss	Noncontrolling Interest in Affiliate	Total Stockholders' Equity
	Shares Issued and Outstanding	Par Value					
Balance - January 1, 2017	2,308,800	\$ 23,100	\$ 19,811,500	\$ 19,497,300	\$ (585,900)	\$ 90,700	\$ 38,836,700
Issuance of common stock	164,000	1,600	2,792,900	-	-	-	2,794,500
Retirement of common stock	(156,400)	(1,600)	(2,663,400)	-	-	-	(2,665,000)
Net income	-	-	-	3,837,300	-	12,500	3,849,800
Other comprehensive loss, net-of-tax	-	-	-	-	(231,200)	-	(231,200)
Balance - December 31, 2017	2,316,400	23,100	19,941,000	23,334,600	(817,100)	103,200	42,584,800
Issuance of common stock	240,100	2,400	4,485,100	-	-	-	4,487,500
Retirement of common stock	(112,800)	(1,100)	(2,107,100)	-	-	-	(2,108,200)
Net income	-	-	-	2,195,400	-	5,100	2,200,500
Other comprehensive gain, net-of-tax	-	-	-	-	498,900	-	498,900
Balance - December 31, 2018	2,443,700	\$ 24,400	\$ 22,319,000	\$ 25,530,000	\$ (318,200)	\$ 108,300	\$ 47,663,500

* 3,000,000 shares authorized at \$0.01 per share

The accompanying notes are an integral part of these statements.

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

CONSOLIDATED STATEMENTS OF CASH FLOWS
YEARS ENDED DECEMBER 31, 2018 AND 2017

	2018	2017
CASH FLOWS FROM OPERATING ACTIVITIES		
Net income	\$ 2,200,500	\$ 3,849,800
Adjustments to reconcile net income to net cash provided by operating activities:		
Other comprehensive income (loss)	498,900	(231,200)
Depreciation and amortization	4,905,000	3,169,000
Receivable reserves	499,000	320,600
Deferred income taxes	777,100	8,000
Loss on disposal of property and equipment, net	163,600	702,500
Changes in operating assets and liabilities:		
Receivables	(1,756,700)	(6,748,100)
Other assets	193,200	(2,468,000)
Accounts payable and other liabilities	2,815,300	4,215,900
Net Cash Provided By Operating Activities	<u>10,295,900</u>	<u>2,818,500</u>
CASH FLOWS FROM INVESTING ACTIVITIES		
Property and equipment acquisitions	(8,352,700)	(23,584,700)
Proceeds from sales of property and equipment	<u>75,500</u>	<u>9,800</u>
Net Cash Used In Investing Activities	<u>(8,277,200)</u>	<u>(23,574,900)</u>
CASH FLOWS FROM FINANCING ACTIVITIES		
Proceeds from repayment of employee loans	2,196,200	2,446,800
Loans to employees	(4,727,000)	(2,645,900)
Proceeds from revolving loan	10,100,000	10,000,000
Repayment of term loans	(15,805,000)	(705,000)
Issuance of common stock	4,487,500	2,794,500
Retirement of common stock	<u>(2,108,200)</u>	<u>(2,665,000)</u>
Net Cash (Used in) Provided By Financing Activities	<u>(5,856,500)</u>	<u>9,225,400</u>
NET CHANGE IN CASH AND CASH EQUIVALENTS	(3,837,800)	(11,531,000)
CASH AND CASH EQUIVALENTS AT BEGINNING OF YEAR	<u>13,167,100</u>	<u>24,698,100</u>
CASH AND CASH EQUIVALENTS AT END OF YEAR	<u>\$ 9,329,300</u>	<u>\$ 13,167,100</u>
SUPPLEMENTAL DISCLOSURES OF CASH FLOW INFORMATION		
Interest paid	\$ 862,400	\$ 541,200
Income taxes paid, net	\$ 360,100	\$ 703,900

The accompanying notes are an integral part of these statements.

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS

1. DESCRIPTION OF BUSINESS AND SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES

Principles of Consolidation

The accompanying consolidated financial statements include the accounts of Wiss, Janney, Elstner Associates, Inc. (“WJE”), its wholly-owned subsidiaries, and its consolidated variable interest entity, WJE Engineers & Architects, P.C. (the “PC”), which collectively are referred to as the “Corporation.”

The PC qualifies as a variable interest entity due to the contractual arrangement between WJE and the PC. WJE is also the primary beneficiary of the PC because substantially all activities of the PC are carried out by WJE. Accordingly, the assets, liabilities, and results of operations of the PC are included in the accompanying consolidated financial statements and all significant transactions between WJE and the PC have been eliminated in consolidation. Substantially all the assets of the PC can be used only to settle obligations of the PC. The creditors of the PC do not have any recourse to the general credit of WJE.

The following table presents the carrying amount and classification of assets and liabilities in the PC exclusive of intercompany balances, as of December 31:

	<u>2018</u>	<u>2017</u>
Assets		
Cash and cash equivalents	\$ 3,800	\$ 2,700
Other assets	<u>600</u>	<u>500</u>
	<u>\$ 4,400</u>	<u>\$ 3,200</u>
Liabilities		
Accrued expenses	<u>\$ 1,600</u>	<u>\$ 2,700</u>

The noncontrolling interest in the PC is presented as a separate component of stockholders’ equity on the consolidated balance sheets and statements of changes in stockholders’ equity, and as a separate component of net income on the consolidated statements of operations.

Description of Business

The Corporation is an interdisciplinary firm of engineers, architects and materials scientists specializing in the investigation of, and design of repairs for, distressed conditions in buildings, bridges and related structures.

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS

1. DESCRIPTION OF BUSINESS AND SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES
*(Continued)****Reporting Period***

The Corporation's fiscal year ends on the Sunday closest to December 31. The year 2018 covers the 52-week period from January 1, 2018 through December 30, 2018 and the year 2017 covers the 52-week period from January 2, 2017 through December 31, 2017. For purposes of financial reporting, the years described above are noted as being full calendar years, beginning January 1 and ending December 31.

Management Estimates and Assumptions

The preparation of financial statements in conformity with accounting principles generally accepted in the United States of America ("GAAP") requires management to make estimates and assumptions that affect the amounts reported in the financial statements and accompanying notes. Actual results could differ from those estimates. Significant estimates and assumptions are used for, but not limited to: (1) receivables allowances; (2) impairment of assets; and (3) valuation of net deferred income tax assets or liabilities. Future events and their effects cannot be predicted with certainty; accordingly, accounting estimates require the exercise of judgment. Accounting estimates used in the preparation of these consolidated financial statements change as new events occur, as more experience is acquired, as additional information is obtained and as the operating environment changes.

Cash and Cash Equivalents

The Corporation invests the majority of its cash in a cash investment account, earning daily interest. The funds are available to the Corporation the following business day and bear minimal risk. Such investments are considered cash equivalents for purposes of reporting cash flows.

The amount of cash deposited at the Corporation's primary bank typically exceeds the federally insured amount. The Corporation has assessed the financial strength of its bank and determined the risk of default to be minimal.

Receivables

Receivables include both billed and unbilled amounts for professional services and reimbursable expenses. These balances are stated at negotiated billing rates for professional time and at marked-up costs for reimbursable expenses, where applicable. The Corporation establishes an allowance for amounts that ultimately may be uncollectible or unbillable, based upon specific-identification and historical experience.

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS

1. DESCRIPTION OF BUSINESS AND SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES*(Continued)****Property and Equipment***

The Corporation's investment in property and equipment is stated at cost. Depreciation is calculated using the straight-line method over the estimated useful lives of the assets. Leasehold improvements are amortized using the straight-line method over the lesser of the useful lives of the improvements or the remaining terms of the leases. The estimated useful lives are as follows:

<u>Asset Classification</u>	<u>Estimated Useful Lives (Years)</u>
Buildings and improvements	5 - 40
Leasehold improvements	5 - 11
Office furniture and fixtures	5 - 7
Engineering equipment	5 - 7
Computer equipment	3 - 5
Automobiles and trucks	3 - 5
Purchased computer software	3

Advance Billings

The Corporation provides services to clients under a variety of contract forms which includes a fixed fee compensation structure. While the Corporation recognizes revenue on a time and expense basis, a fixed fee may be invoiced to the client in excess of the time and expense incurred. The Corporation establishes a liability for the amounts billed in advance of the accumulated efforts to date. As efforts progress through project completion, revenue is recognized and the liability is relieved.

Hedging Instruments

The Corporation accounts for derivative financial instruments under Financial Accounting Standards Board Accounting Standards Codification ("ASC") 815, "*Accounting for Derivatives and Hedging*," as amended and interpreted, which requires all derivatives to be recorded in the balance sheet at their fair values. Changes in the fair values of the derivatives are recorded in each period as other comprehensive income or loss.

Accumulated Other Comprehensive Loss

Accumulated other comprehensive loss consists of actuarial gains or losses, prior service costs, and transition assets or obligations related to postretirement benefits that have not yet been included in net postretirement benefits expense, unrecognized gains and losses on interest rate swaps, and any foreign currency translation adjustments associated with investments in foreign affiliates, all net-of-tax.

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS

1. DESCRIPTION OF BUSINESS AND SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES
(Continued)***Revenue Recognition***

Professional services fees are calculated at negotiated billing rates for professional time plus reimbursable expenses, and are recognized on the date those services are performed or expenses are recorded. Adjustments to fees include provisions for unbillable amounts, including proposal time.

Other revenues consist of amounts earned from laboratory services and equipment rental and are recognized on the date the services are performed or equipment is rented.

Foreign Currency

The functional currencies for the consolidated foreign affiliates are the British Pound Sterling, Indian Rupee and United Arab Emirates Dirham. The translation of the applicable foreign currencies into U.S. dollars is performed for balance sheet accounts using the current exchange rate in effect on the balance sheet date, and for revenue and expense accounts using a weighted-average exchange rate during the period. The gains or losses resulting from such currency translations are included as a component of either net income in the statement of operations or accumulated other comprehensive loss in stockholders' equity.

Fair Value Measurements

ASC 820, *Fair Value Measurements and Disclosures*, provides guidance that defines fair value, establishes a framework for measuring fair value and expands disclosures about fair value measurements for both financial and non-financial assets. It also provides a fair value hierarchy that prioritizes the inputs to valuation techniques used to measure fair value. The hierarchy gives the highest priority to unadjusted quoted prices in active markets for identical assets or liabilities (level 1 measurements) and the lowest priority to unobservable inputs (level 3 measurements).

Fair Value Hierarchy

The three levels of the fair value hierarchy are described as follows:

Level 1 Inputs to the valuation methodology are unadjusted quoted prices for identical assets or liabilities in active markets that the Corporation has the ability to access.

Level 2 Inputs to the valuation methodology include the following:

- Quoted prices for similar assets or liabilities in active markets;
- Quoted prices for identical or similar assets or liabilities in inactive markets;
- Inputs other than quoted prices that are observable for the asset or liability;
- Inputs that are derived principally from, or corroborated by, observable market data by correlation or other means.

If the asset or liability has a specified (contractual) term, the level 2 input must be observable for substantially the full term of the asset or liability.

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS

1. DESCRIPTION OF BUSINESS AND SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES
(Continued)***Fair Value Measurements (Continued)******Fair Value Hierarchy (Continued)***

Level 3 Inputs to the valuation methodology are unobservable and significant to the fair value measurement.

The asset's or liability's fair value measurement level within the fair value hierarchy is based on the lowest level of any input that is significant to the fair value measurement. Valuation techniques used need to maximize the use of observable inputs and minimize the use of unobservable inputs.

Recent Accounting Pronouncements

In May 2014, FASB issued Accounting Standards Update ("ASU") 2014-09, *Revenue from Contracts with Customers (Topic 606)*. This ASU is a comprehensive new revenue recognition model that requires a company to recognize revenue to depict the transfer of goods or services to a customer at an amount that reflects the consideration it expects to receive in exchange for those goods or services. In August 2015, FASB issued ASU 2015-14, *Revenue from Contracts with Customers (Topic 606): Deferral of the Effective Date*, which deferred the effective date of ASU 2014-09 to annual reporting periods beginning after December 15, 2018, and interim reporting periods with annual reporting periods beginning after December 15, 2019. Early adoption is permitted for reporting periods beginning after December 15, 2016. Companies may use either a full retrospective or a modified retrospective approach to adopt this ASU. Management is currently evaluating this standard, including which transition approach to use.

In February 2016, FASB issued ASU 2016-02, *Leases (Topic 842)*. FASB issued ASU 2016-02 to increase transparency and comparability among organizations by recognizing lease assets and lease liabilities on the balance sheet and disclosing key information about leasing arrangements. Certain qualitative and quantitative disclosures are required, as well as a retrospective recognition and measurement of impacted leases. The new guidance is effective for fiscal years beginning after December 15, 2019, and interim periods within fiscal years beginning after December 15, 2020, with early adoption permitted. Management is currently evaluating this standard.

In March 2016, FASB issued ASU 2016-08, *Revenue from Contracts with Customers (Topic 606): Principal versus Agent Considerations (Reporting Revenue Gross versus Net)*. The amendments are intended to improve the operability and understandability of the implementation guidance on principal versus agent considerations. The effective date for this ASU is the same as the effective date for ASU 2014-09. Management is currently evaluating this standard.

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS

2. RECEIVABLES

Receivables as of December 31 consist of the following:

	<u>2018</u>	<u>2017</u>
Billed professional time and expenses	\$ 38,021,900	\$ 33,052,800
Unbilled professional time and expenses	10,782,900	14,206,100
Other receivables	<u>375,600</u>	<u>164,800</u>
	49,180,400	47,423,700
Less: Allowances	<u>3,464,200</u>	<u>2,965,200</u>
	<u>\$ 45,716,200</u>	<u>\$ 44,458,500</u>

3. EMPLOYEE NOTES RECEIVABLE

In 2018 and 2017, WJE entered into \$4,037,000 and \$2,425,700, respectively, of Note and Pledge Agreements (the "Notes") with certain employees (the "Borrowers") to finance their purchases of WJE's common stock. The Notes mature in one to nine years and accrue interest at rates ranging from 3.75% to 5.00%. Principal and interest are due annually, and the Borrowers have the right to prepay the Notes in part or in full at any time without penalty. The common stock is held as collateral until the Notes are paid in full. At December 31, 2018 and 2017, the balance of the Notes was \$7,473,100 and \$5,536,600, respectively.

WJE also makes loans to employees to help finance their relocation to other offices. At December 31, 2018 and 2017, one loan with a balance of \$101,400 and \$111,700, respectively, was secured by a second mortgage on the employee's residence. This note bears interest at 3.25% and matures in June 2027. At December 31, 2018, one loan with a balance of \$690,000 was secured by a first mortgage on the employee's residence. This note bears interest at 3.50% and matures in March 2020. The unsecured loans totaled \$302,000 and \$387,400 as of December 31, 2018 and 2017, respectively. They bear interest at rates ranging from 3.00% to 4.50%, and mature between December 2019 and December 2023.

Maturities of the employee notes receivable are as follows as of December 31, 2018:

<u>Year</u>	<u>Amount</u>
2019	\$ 1,924,900
2020	2,354,000
2021	1,492,300
2022	1,186,500
2023	899,100
Thereafter	<u>709,700</u>
	<u>\$ 8,566,500</u>

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS

4. PROPERTY AND EQUIPMENT

Property and equipment as of December 31 consist of the following:

	<u>2018</u>	<u>2017</u>
Land	\$ 2,696,100	\$ 2,696,100
Buildings and improvements	43,312,400	16,654,400
Leasehold improvements	10,513,000	8,535,600
Computer equipment	6,776,500	5,280,600
Office furniture and fixtures	7,034,700	5,547,300
Engineering equipment	4,746,200	3,993,300
Purchased computer software	1,269,900	1,202,300
Automobiles and trucks	761,100	779,300
Construction in progress	<u>1,017,000</u>	<u>23,811,200</u>
	78,126,900	68,500,100
Less: Accumulated depreciation and amortization	<u>29,191,800</u>	<u>25,400,100</u>
	<u>\$ 48,935,100</u>	<u>\$ 43,100,000</u>

5. OTHER ASSETS

Other assets as of December 31 consist of the following:

	<u>2018</u>	<u>2017</u>
Prepaid expenses	\$ 1,183,100	\$ 1,161,400
Prepaid insurance	837,700	772,300
Security deposits	714,500	709,400
Goodwill	434,200	487,500
Income taxes recoverable	418,400	848,800
Miscellaneous	<u>82,800</u>	<u>87,700</u>
	<u>\$ 3,670,700</u>	<u>\$ 4,067,100</u>

6. DEBT

The Corporation is party to a Credit Agreement, as amended from time to time, (the "Credit Agreement") with Wells Fargo Bank, N.A. ("Wells"). The Credit Agreement offers revolving loans, letters of credit, and two term loans, all subject to variable interest rates.

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS

6. DEBT *(Continued)*

Revolving loans up to a maximum of \$20,000,000, reduced by outstanding performance bonds of \$117,000 at December 31, 2018 and \$4,472,400 at December 31, 2017, are available until the April 1, 2022 expiration date of the Credit Agreement. The Corporation pays a fee of 15 basis points (0.15%) on the average daily unused revolving loan commitment in excess of \$10,000,000.

At December 31, 2018, one revolving loan of \$5,000,000 was outstanding at a variable interest rate of one-month LIBOR plus 1.75%. At December 31, 2017, one revolving loan of \$10,000,000 was outstanding at a floating interest rate of 3.28%, based upon one-month LIBOR.

Letters of credit are available up to a maximum of \$500,000, provided that the sum of outstanding revolving loans and letters of credit does not exceed the maximum revolving loan commitment then in effect. The Corporation is assessed a fee of 2.25% on the average daily amount of outstanding letters of credit, if any. There were no letters of credit outstanding as of December 31, 2018 and 2017.

At December 31, 2018, the outstanding principal balance of Term Loan A was \$7,659,200. The loan is subject to monthly principal installments of \$37,900 plus interest, with a balloon payment of \$6,862,900 due in November 2020.

At December 31, 2018 the outstanding principal balance of Term Loan B was \$4,312,500. The loan is subject to monthly principal installments of \$20,800 plus interest, with a balloon payment of \$3,770,800 due in April 2021.

In addition, the Corporation is party to four interest rate swap agreements with Wells, each covering a portion of the Corporation's term loan and revolving loan debt. The swap agreements effectively fix the interest rate associated with their respective portion of the debt at interest rates ranging from 3.80% to 4.734%. As of December 31, 2018 and 2017, all term loan and revolving loan debt outstanding was hedged via interest rate swap agreements.

Scheduled repayments of debt are as follows, as of December 31, 2018:

<u>Year</u>	<u>Amount</u>
2019	\$ 705,000
2020	7,454,200
2021	3,812,500
2022	<u>5,000,000</u>
	<u>\$ 16,971,700</u>

Under the terms of the Credit Agreement, substantially all of the Corporation's assets are pledged as collateral. Certain covenants of the Credit Agreement require the maintenance of minimum tangible net worth and a minimum fixed charge coverage ratio. Balances of certain assets and obligations are subject to dollar limits. The Corporation was in compliance with all covenants under the Credit Agreement as of and for the years ended December 31, 2018 and 2017.

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS

7. ACCRUED EXPENSES

Accrued expenses as of December 31 consist of the following:

	<u>2018</u>	<u>2017</u>
Incentive awards	\$ 14,000,000	\$ 12,400,000
Vacation	2,936,600	2,597,600
Payroll	2,756,400	2,774,700
401(k) plan contributions	1,560,100	1,439,800
Other employee benefits	1,436,100	784,900
Payroll taxes	1,293,400	1,170,800
Bonuses / guaranteed compensation	1,066,200	178,000
Income taxes	483,200	-
Real estate taxes	416,200	366,200
Construction costs	89,300	3,214,600
Interest rate swap agreements	51,600	75,000
Miscellaneous	1,212,600	1,011,100
	<u>\$ 27,301,700</u>	<u>\$ 26,012,700</u>

8. LEASES

The Corporation leases office space and equipment under noncancelable operating leases. Certain office leases include provisions for the payment of a proportionate share of executory costs consisting of real estate taxes, insurance, maintenance and utilities. Rent expense is recognized using the straight-line method over the life of the lease and, consequently, the accompanying consolidated balance sheets include deferred rent in other liabilities, representing lease expense recognized, but not yet paid. Total rent expense under the operating leases, including executory costs, was \$5,613,200 and \$5,012,300 for the years ending December 31, 2018 and 2017, respectively.

Several of the office space leases include an incentive provided by the landlord toward the cost of leasehold improvements. The value of the lessor-provided leasehold allowances is included as leasehold improvements in property and equipment, with a corresponding liability included in other liabilities. Both the asset and liability are amortized on a straight-line basis over the lesser of the life of the lease or the useful life of the underlying asset. In the event the Corporation should default on the lease, some of the cost of those improvements must be reimbursed to the landlord. Unamortized leasehold improvements and the equivalent corresponding liability totaled \$3,291,800 and \$1,444,600 as of December 31, 2018 and 2017, respectively.

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS

8. LEASES (Continued)

Exclusive of executory costs on the operating leases, future minimum lease payments in each of the next five years ending December 31 and aggregated thereafter are as follows:

<u>Year</u>	<u>Amount</u>
2019	\$ 5,377,800
2020	5,295,900
2021	4,773,000
2022	3,679,700
2023	3,262,300
Thereafter	<u>8,360,800</u>
	<u>\$ 30,749,500</u>

9. OTHER LIABILITIES

Other liabilities as of December 31 consist of the following:

	<u>2018</u>	<u>2017</u>
Lessor-provided leasehold allowances	\$ 3,291,800	\$ 1,444,600
Deferred rent	1,437,500	<u>1,121,800</u>
	<u>\$ 4,729,300</u>	<u>\$ 2,566,400</u>

10. FAIR VALUE MEASUREMENTS***Cash Flow Hedges***

The Corporation utilizes cash flow hedges to reduce the risk of changes in cash interest payments related to debt. Those derivative instruments are limited to interest rate swap agreements which are not exchange-traded and are not an over-the-counter customized transaction.

The interest rate swap agreements are accounted for pursuant to ASC 815 while the loans are outstanding. ASC 815 requires that the effective portion of the change in fair value of hedged transactions be recorded in accumulated other comprehensive income or loss. At December 31, 2018 and 2017, the aggregate fair value of the derivative instrument was a liability of \$51,600 and \$75,000, respectively. The value was based on significant level 2 inputs in the form of quoted LIBOR interest rate information.

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS

10. FAIR VALUE MEASUREMENTS *(Continued)****Cash Flow Hedges*** *(Continued)*

At December 31, 2018 and 2017, the relative change in fair value was a gain of \$16,500 and \$123,100, respectively, net of deferred income tax expense of \$6,900 and \$50,000, respectively. These changes in fair value were recognized in other comprehensive income (loss) as mark-to-market gain on interest rate swap contracts, with deferred tax expense based upon the income tax rates estimated to be in effect at the time the liability will be satisfied.

Non-Financial Assets and Liabilities Measured at Fair Value on a Nonrecurring Basis

Certain assets and liabilities are measured at fair value on a nonrecurring basis; that is, the assets and liabilities are not measured at fair value on an ongoing basis but are subject to fair value adjustments in certain circumstances such as when there is evidence of impairment. These assets include employee notes receivable, deferred income taxes, and property and equipment. No material fair value adjustments or fair value measurements were required for non-financial assets or liabilities as of December 31, 2018 and 2017.

Financial Instruments Not Recorded at Fair Value on a Recurring Basis

The carrying value of financial instruments such as cash, receivables, accounts payable, accrued expenses and short-term debt approximates their fair values, based on the short-term nature of these instruments. The carrying amount of long-term debt approximates its fair value as the notes bear interest based on the market rate currently available for debt with similar terms.

11. RETIREMENT BENEFIT PLANS***401(k) Plan***

WJE sponsors a 401(k) plan which is available to eligible employees. Under the plan, WJE matches a portion of employee contributions, the cost of which was \$5,292,600 and \$4,804,000 for the years ended December 31, 2018 and 2017, respectively.

Medical Benefits

WJE sponsors a retiree medical insurance plan for eligible pre-age 65 retirees ("early retirees"), retirees (age 65 and older) and their qualifying spouses or domestic partners. WJE subsidizes a percentage of the early retirees' cost of continuing participation in the group insurance program, and subsidizes a portion of the premiums paid by retirees for Medicare supplement insurance.

WJE accrues postretirement medical benefits earned during the years an employee provides services, based on an actuarial calculation, the cost of which was \$922,500 and \$760,300 for the years ended December 31, 2018 and 2017, respectively.

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS

11. RETIREMENT BENEFIT PLANS *(Continued)**Medical Benefits (Continued)*

In addition, changes in actuarial assumptions made during 2018 resulted in a \$474,400 gain, net of deferred income tax expense of \$197,100, recognized through other comprehensive income (loss) as postretirement medical benefits – net actuarial gain (loss). Deferred income tax expense is based upon the income tax rates estimated to be in effect at the time the liability will be satisfied.

The unfunded benefit obligation was \$8,145,400 and \$8,249,000 as of December 31, 2018 and 2017, respectively. A discount rate of 4.50% and 3.75% was used to calculate the unfunded obligation for the years ended December 31, 2018 and 2017, respectively.

For measuring the liability and expense, a 6.50% and 6.75% annual rate of increase in the per capita claims cost was assumed for 2018 and 2017, respectively. In 2018, the effect of a one percentage point increase in the assumed health care costs trend rate would result in an increase in the postretirement benefits obligation of approximately \$704,800, while a one percentage point decrease in the trend rate would reduce the obligation by approximately \$582,800.

Retiree medical insurance plan expenses paid by WJE, net of premiums received from participants, totaled \$346,800 and \$127,700 for the years ended December 31, 2018 and 2017, respectively. Benefits expected to be paid during the next ten years are as follows:

<u>Year</u>	<u>Amount</u>
2019	\$ 422,600
2020	403,700
2021	400,800
2022	435,700
2023	491,100
2024 - 2028	<u>2,776,500</u>
	<u>\$ 4,930,400</u>

WJE's retiree medical insurance plan is not governed by provisions of the Employment Retirement Security Act of 1974. While management of WJE expects to continue the retiree medical insurance plan indefinitely, and has never indicated any intention to terminate the plan, WJE retains the right to amend or terminate it at any time.

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS

12. COMMON STOCK

WJE maintains a program of offering common stock to eligible employees at a price determined by formula in the Second Amended and Restated Stockholders' Agreement dated November 27, 2012 ("Stockholders' Agreement"). All transactions must be authorized by WJE's Board of Directors and made within certain restrictions stipulated in the Stockholders' Agreement and the Credit Agreement. In 2018 and 2017, \$4,487,500 and \$2,794,500, respectively, of common stock were issued.

The Stockholders' Agreement also requires that upon the death, permanent disability or termination of employment of an employee, their common stock must be repurchased by WJE at the price determined by formula in the Stockholders' Agreement. In 2018 and 2017, \$2,108,200 and \$2,665,000, respectively, of common stock were repurchased. As of December 31, 2018, WJE's repurchase obligation was approximately \$858,400.

13. INCOME TAXES*Significant Tax Matters*

The Corporation is subject to taxation in the United States and various states and foreign jurisdictions. The Corporation reports income in the United States on a cash basis, both at the Federal and state levels, as permitted by tax regulation. Reporting of foreign sourced income is made in accordance with the relevant foreign jurisdiction and any applicable tax treaties in effect between the foreign country and the United States. The Corporation has available approximately \$100,000 of state net operating loss carry-forwards, expiring in 2030 through 2037.

Tax Provision (Benefit)

The income tax provision (benefit) for the years ended December 31 consists of:

	<u>2018</u>	<u>2017</u>
Current	\$ 651,300	\$ (254,700)
Deferred	450,100	(37,200)
Foreign	-	32,100
Income tax provision (benefit)	<u>\$ 1,101,400</u>	<u>\$ (259,800)</u>

The Corporation's effective income tax rates were 33.4% and (7.2%) for the years ended December 31, 2018 and 2017, respectively. The Tax Cuts and Jobs Act, enacted in December 2017, reduced the 2017 effective tax rate by 31.5% and resulted in incremental tax benefits of \$1,131,800, primarily related to the remeasurement of the Corporation's U.S. net deferred tax liabilities to reflect the reduction in the corporate tax rate from 35% to 21%.

The Corporation's effective income tax rate varies from the statutory tax rate primarily due to certain expenses which are nondeductible in the calculation of taxable income and statutory alternative minimum tax requirements.

WISS, JANNEY, ELSTNER ASSOCIATES, INC.

NOTES TO THE CONSOLIDATED FINANCIAL STATEMENTS

13. INCOME TAXES (Continued)*Deferred Income Taxes*

Deferred income tax assets and liabilities are recognized for the future tax consequences attributable to differences between the GAAP-based financial statement carrying values of assets and liabilities and their respective tax bases. The amount of any future tax benefits is reduced by a valuation allowance to the extent such benefits are not expected to be fully realized.

Deferred income tax assets and liabilities as of December 31 consist of the following:

	<u>2018</u>	<u>2017</u>
Deferred assets	\$ 803,200	\$ 2,580,400
Deferred liabilities	<u>3,250,600</u>	<u>4,250,700</u>
Net deferred income tax liability	<u>\$ 2,447,400</u>	<u>\$ 1,670,300</u>

14. COMMITMENTS AND CONTINGENCIES

The Corporation is involved in litigation arising in the ordinary course of business. Although the outcome of these matters cannot presently be determined, management does not expect that the resolution of these matters will have a material adverse effect on the Corporation's financial position or results of operations.

15. SUBSEQUENT EVENTS

The Corporation's management has evaluated all known subsequent events from December 31, 2018 through March 13, 2019, the date the accompanying financial statements were available to be issued, and is not aware of any material events occurring during this period.

CONFIDENTIAL

APPENDIX A
SUPPLEMENTAL CONSOLIDATING
FINANCIAL STATEMENTS

CONSOLIDATING BALANCE SHEET
DECEMBER 31, 2018

	WJE	WJE International Holdings	WJE Consulting Services Pvt Ltd	WJE Engineers, Architects & Materials Scientists LLC	WJE Engineers & Architects	Eliminations	Consolidated Total
ASSETS							
Cash and cash equivalents	\$ 8,357,000	\$ 472,000	\$ 496,500	\$ -	\$ 3,800	\$ -	\$ 9,329,300
Receivables	45,715,600	-	-	-	600	-	45,716,200
Employee notes receivable	8,566,500	-	-	-	-	-	8,566,500
Property and equipment	48,935,100	-	-	-	-	-	48,935,100
Other assets	4,532,800	-	82,900	-	105,500	(1,050,500)	3,670,700
TOTAL ASSETS	\$ 116,107,000	\$ 472,000	\$ 579,400	\$ -	\$ 109,900	\$ (1,050,500)	\$ 116,217,800
LIABILITIES AND STOCKHOLDERS' EQUITY							
LIABILITIES							
Debt	\$ 16,971,700	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 16,971,700
Accounts payable	1,837,800	-	-	-	-	-	1,837,800
Accrued expenses	27,299,200	-	900	-	1,600	-	27,301,700
Advance billings	7,121,000	-	-	-	-	-	7,121,000
Deferred income taxes	2,447,400	-	-	-	-	-	2,447,400
Postretirement medical benefits	8,145,400	-	-	-	-	-	8,145,400
Other liabilities	4,729,300	-	-	-	-	-	4,729,300
TOTAL LIABILITIES	68,551,800	-	900	-	1,600	-	68,554,300
STOCKHOLDERS' EQUITY							
Common stock	24,400	-	1,500	-	100	(1,600)	24,400
Additional paid-in capital	22,319,000	1,762,400	706,200	-	-	(2,468,600)	22,319,000
Retained earnings	25,530,000	(1,290,400)	(129,200)	-	108,200	1,311,400	25,530,000
Accumulated other comprehensive loss	(318,200)	-	-	-	-	-	(318,200)
Noncontrolling interest in affiliate	-	-	-	-	-	108,300	108,300
TOTAL STOCKHOLDERS' EQUITY	47,555,200	472,000	578,500	-	108,300	(1,050,500)	47,663,500
TOTAL LIABILITIES AND STOCKHOLDERS' EQUITY	\$ 116,107,000	\$ 472,000	\$ 579,400	\$ -	\$ 109,900	\$ (1,050,500)	\$ 116,217,800

See Independent Auditor's Report.

CONSOLIDATING STATEMENT OF OPERATIONS
YEAR ENDED DECEMBER 31, 2018

	WJE	WJE International Holdings	WJE Consulting Services Pvt Ltd	WJE Engineers, Architects & Materials Scientista LLC	WJE Engineers & Architects	Eliminations	Consolidated Total
REVENUES							
Professional services fees	\$ 166,144,800	\$ 15,300	\$ -	\$ -	\$ 13,851,700	\$ (13,851,700)	\$ 166,160,100
Adjustments to fees	(12,173,500)	84,500	-	-	-	-	(12,089,000)
Net fees	153,971,300	99,800	-	-	13,851,700	(13,851,700)	154,071,100
Other revenues	1,575,900	-	-	-	-	-	1,575,900
Total net revenues	155,547,200	99,800	-	-	13,851,700	(13,851,700)	155,647,000
OPERATING EXPENSES							
Salaries	72,742,900	4,100	-	(111,700)	-	-	72,635,300
Employee benefits	20,246,300	3,000	-	-	-	-	20,249,300
Facilities	11,621,000	31,700	-	-	-	-	11,652,700
Professional development	5,072,300	1,100	-	-	600	-	5,074,000
Depreciation and amortization	4,905,000	-	-	-	-	-	4,905,000
Receivables allowances and write-offs	1,643,900	4,100	-	-	84,700	-	1,732,700
Technology	1,647,800	200	-	-	-	-	1,648,000
Professional fees	1,495,700	112,600	1,100	23,800	-	-	1,633,200
Business insurance	992,300	34,300	-	-	-	-	1,026,600
Marketing and advertising	904,500	-	-	-	-	-	904,500
Miscellaneous	2,298,700	1,600	-	4,300	13,752,500	(13,851,700)	2,205,400
Total operating expenses	123,570,400	192,700	1,100	(83,600)	13,837,800	(13,851,700)	123,666,700
INCOME (LOSS) AFTER OPERATING EXPENSES	31,976,800	(92,900)	(1,100)	83,600	13,900	-	31,980,300
DISCRETIONARY OPERATING EXPENSES							
Incentive and bonus	26,729,500	-	-	-	-	-	26,729,500
Postretirement benefits	922,500	-	-	-	-	-	922,500
Total discretionary operating expenses	27,652,000	-	-	-	-	-	27,652,000
INCOME (LOSS) FROM OPERATIONS	4,324,800	(92,900)	(1,100)	83,600	13,900	-	4,328,300
OTHER EXPENSES							
Net interest expense	452,700	-	14,500	-	-	-	467,200
Loss on disposal of property and equipment, net	163,600	-	-	-	-	-	163,600
Other taxes and fees	419,400	(69,300)	300	(68,200)	1,100	112,300	395,600
Total other expenses	1,035,700	(69,300)	14,800	(68,200)	1,100	112,300	1,026,400
PRE-TAX INCOME (LOSS)	3,289,100	(23,600)	(15,900)	151,800	12,800	(112,300)	3,301,900
Income tax provision (benefit)	1,093,700	-	-	-	7,700	-	1,101,400
NET INCOME (LOSS)	\$ 2,195,400	\$ (23,600)	\$ (15,900)	\$ 151,800	\$ 5,100	\$ (112,300)	\$ 2,200,500

See Independent Auditor's Report.

CONSOLIDATING STATEMENT OF COMPREHENSIVE INCOME
YEAR ENDED DECEMBER 31, 2018

	WJE	WJE International Holdings	WJE Consulting Services Pvt Ltd	WJE Engineers, Architects & Materials Scientists LLC	WJE Engineers & Architects	Eliminations	Consolidated Total
NET INCOME (LOSS)	\$ 2,195,400	\$ (23,600)	\$ (15,900)	\$ 151,800	\$ 5,100	\$ (112,300)	\$ 2,200,500
OTHER COMPREHENSIVE INCOME (LOSS), NET-OF-TAX							
Postretirement medical benefits							
Prior service cost	8,000	-	-	-	-	-	8,000
Net actuarial gain (loss)	474,400	-	-	-	-	-	474,400
Mark-to-market gain (loss) on interest rate swap contracts	16,500	-	-	-	-	-	16,500
OTHER COMPREHENSIVE INCOME (LOSS)	498,900	-	-	-	-	-	498,900
COMPREHENSIVE INCOME (LOSS)	\$ 2,694,300	\$ (23,600)	\$ (15,900)	\$ 151,800	\$ 5,100	\$ (112,300)	\$ 2,699,400

See Independent Auditor's Report.

CONSOLIDATING BALANCE SHEET
DECEMBER 31, 2017

	WJE	WJE International Holdings	WJE Consulting Services Pvt Ltd	WJE Engineers, Architects & Materials Scientists LLC	WJE Engineers & Architects	Eliminations	Consolidated Total
ASSETS							
Cash and cash equivalents	\$ 12,636,600	\$ 18,700	\$ 509,100	\$ -	\$ 2,700	\$ -	\$ 13,167,100
Receivables	44,458,500	-	-	-	-	-	44,458,500
Employee notes receivable	6,035,700	-	-	-	-	-	6,035,700
Property and equipment	43,100,000	-	-	-	-	-	43,100,000
Other assets	4,593,500	-	87,300	-	104,300	(718,000)	4,067,100
TOTAL ASSETS	\$ 110,824,300	\$ 18,700	\$ 596,400	\$ -	\$ 107,000	\$ (718,000)	\$ 110,828,400
LIABILITIES AND STOCKHOLDERS' EQUITY							
LIABILITIES							
Debt	\$ 22,676,700	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 22,676,700
Accounts payable	730,300	-	-	-	1,100	(104,900)	626,500
Accrued expenses	26,008,000	-	2,000	-	2,700	-	26,012,700
Advance billings	6,442,000	-	-	-	-	-	6,442,000
Deferred income taxes	1,670,300	-	-	-	-	-	1,670,300
Postretirement medical benefits	8,249,000	-	-	-	-	-	8,249,000
Other liabilities	2,566,400	-	-	-	-	-	2,566,400
TOTAL LIABILITIES	68,342,700	-	2,000	-	3,800	(104,900)	68,243,600
STOCKHOLDERS' EQUITY							
Common stock	23,100	-	1,500	-	100	(1,600)	23,100
Additional paid-in capital	19,941,000	1,285,500	706,200	151,800	-	(2,143,500)	19,941,000
Retained earnings	23,334,600	(1,266,800)	(113,300)	(151,800)	103,100	1,428,800	23,334,600
Accumulated other comprehensive loss	(817,100)	-	-	-	-	-	(817,100)
Noncontrolling interest in affiliate	-	-	-	-	-	103,200	103,200
TOTAL STOCKHOLDERS' EQUITY	42,481,600	18,700	594,400	-	103,200	(613,100)	42,584,800
TOTAL LIABILITIES AND STOCKHOLDERS' EQUITY	\$ 110,824,300	\$ 18,700	\$ 596,400	\$ -	\$ 107,000	\$ (718,000)	\$ 110,828,400

See Independent Auditor's Report.

CONSOLIDATING STATEMENT OF OPERATIONS
YEAR ENDED DECEMBER 31, 2017

	WJE	WJE International Holdings	WJE Consulting Services Pvt Ltd	WJE Engineers, Architects & Materials Scientists LLC	WJE Engineers & Architects	Eliminations	Consolidated Total
REVENUES							
Professional services fees	\$ 150,498,700	\$ 305,000	\$ 80,100	\$ -	\$ 12,501,300	\$ (12,501,300)	\$ 150,883,800
Adjustments to fees	(10,731,400)	(260,000)	-	-	-	-	(10,991,400)
Net fees	139,767,300	45,000	80,100	-	12,501,300	(12,501,300)	139,892,400
Other revenues	1,558,100	-	-	-	-	-	1,558,100
Total net revenues	141,325,400	45,000	80,100	-	12,501,300	(12,501,300)	141,450,500
OPERATING EXPENSES							
Salaries	67,196,900	498,500	-	115,700	-	-	67,811,100
Employee benefits	19,610,900	115,300	-	8,800	-	-	19,735,000
Facilities	10,033,300	30,600	-	-	-	-	10,063,900
Professional development	4,040,000	127,800	-	-	-	-	4,167,800
Depreciation and amortization	3,169,000	-	-	-	-	-	3,169,000
Technology	1,284,500	-	-	-	-	-	1,284,500
Professional fees	925,100	59,900	3,100	28,000	5,600	-	1,021,700
Business insurance	994,800	8,500	-	-	-	-	1,003,300
Marketing and advertising	698,300	-	-	-	-	-	698,300
Receivables allowances and write-offs	489,200	12,000	-	-	89,200	-	590,400
Miscellaneous	2,063,700	218,900	-	100	12,392,700	(12,501,300)	2,174,100
Total operating expenses	110,505,700	1,071,500	3,100	152,600	12,487,500	(12,501,300)	111,719,100
INCOME (LOSS) AFTER OPERATING EXPENSES	30,819,700	(1,026,500)	77,000	(152,600)	13,800	-	29,731,400
DISCRETIONARY OPERATING EXPENSES							
Incentive and bonus	23,869,400	-	-	-	-	-	23,869,400
Postretirement benefits	760,300	-	-	-	-	-	760,300
Total discretionary operating expenses	24,629,700	-	-	-	-	-	24,629,700
INCOME (LOSS) FROM OPERATIONS	6,190,000	(1,026,500)	77,000	(152,600)	13,800	-	5,101,700
OTHER EXPENSES							
Net interest expense	252,900	-	75,500	-	-	-	328,400
Loss on disposal of property and equipment, net	702,500	-	-	-	-	-	702,500
Other taxes and fees	1,657,100	2,000	114,800	(800)	1,300	(1,293,600)	480,800
Total other expenses	2,612,500	2,000	190,300	(800)	1,300	(1,293,600)	1,511,700
PRE-TAX INCOME (LOSS)	3,577,500	(1,028,500)	(113,300)	(151,800)	12,500	1,293,600	3,590,000
Income tax provision (benefit)	(259,800)	-	-	-	-	-	(259,800)
NET INCOME (LOSS)	\$ 3,837,300	\$ (1,028,500)	\$ (113,300)	\$ (151,800)	\$ 12,500	\$ 1,293,600	\$ 3,849,800

See Independent Auditor's Report.

WISS, JANNEY, ELSTNER ASSOCIATES, INC.
CONSOLIDATING STATEMENT OF COMPREHENSIVE INCOME
YEAR ENDED DECEMBER 31, 2017

	<u>WJE</u>	<u>WJE International Holdings</u>	<u>WJE Consulting Services Pvt Ltd</u>	<u>WJE Engineers, Architects & Materials Scientists LLC</u>	<u>WJE Engineers & Architects</u>	<u>Eliminations</u>	<u>Consolidated Total</u>
NET INCOME (LOSS)	\$ 3,837,300	\$ (1,028,500)	\$ (113,300)	\$ (151,800)	\$ 12,500	\$ 1,293,600	\$ 3,849,800
OTHER COMPREHENSIVE INCOME (LOSS), NET-OF-TAX							
Postretirement medical benefits							
Prior service cost	8,000	-	-	-	-	-	8,000
Net actuarial gain (loss)	(362,300)	-	-	-	-	-	(362,300)
Mark-to-market gain (loss) on interest rate swap contracts	123,100	-	-	-	-	-	123,100
OTHER COMPREHENSIVE INCOME (LOSS)	(231,200)	-	-	-	-	-	(231,200)
COMPREHENSIVE INCOME (LOSS)	\$ 3,606,100	\$ (1,028,500)	\$ (113,300)	\$ (151,800)	\$ 12,500	\$ 1,293,600	\$ 3,618,600

See Independent Auditor's Report.



The Firm

Official Business Name :
Randall Scott Architects, Inc.

Business Address :
2140 Lake Park Blvd, Suite 300
Richardson, TX 75080

Type of Organization:
S-Corporation

Telephone:
(972)664-9100

Brief History:

Randall Scott Architects (RSA) is excited to be submitting for the Tyler Courthouse Rehabilitation. Our firm is uniquely known across the state for its prowess in the design of Courts and Government Facilities. Furthermore, our team has some highly recent, highly relevant experience in Texas.

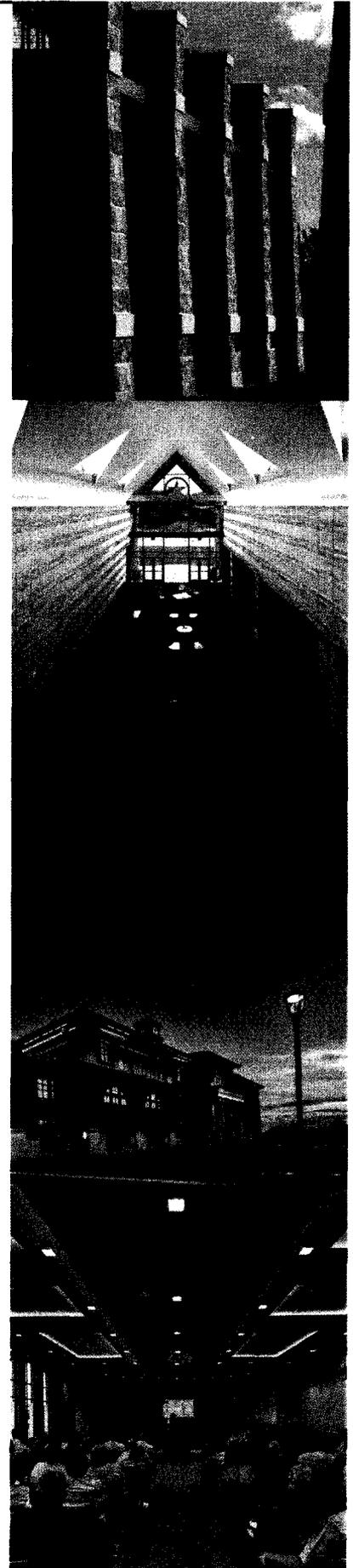
Randall Scott Architects, Inc., is a 30+ year old architecture, interiors and planning firm that specializes in the design of municipal and public projects, but is more specifically known for its depth of Courts and Government Building design experience.

RSA has designed 12 Court/Government Building projects in the past 36 months alone. Additionally, RSA has \$75+ Million in Courts & Government Buildings that are in construction, so the team we propose has a great understanding of the available labor market and construction materials. **This means our cost estimates will be based on the most current cost information and provide a more accurate estimate for the county.** This is a critical part of how our firm will keep Tyler County's Courthouse Rehabilitation in the set budget from day one.

Personnel is possibly the most important criteria in a project delivery. The three key individuals RSA offers for your project are unmatched in experience delivering this **exact project type (together)**. Randall Scott (Founding Principal), Dan Brantner (Sr. Vice President **at RSA for 15 years**) and Vance Lazar (Vice President) are the top three architects we will place on The Tyler Courthouse project. Please look at their resume's in this submittal, you will find that **they worked together on many of the Court & Government Building Projects listed** in their resumes. This is a rare opportunity for the county to procure three of Texas' most experienced Court architects who have delivered **all of their relevant projects together**.

In addition to all of the above assets, RSA has a strategic partnership with the **preeminent courthouse consultant** in the United States, **Fentress Incorporated**. Fentress and RSA have found a dynamic partnership on courthouse projects, because Fentress has consulted on **1,000+ courthouse facilities across all 50 states** and brings **unmatched specialized knowledge** in the courthouse analytics, caseload projections, prosecutorial initiatives and performance metrics. Our two firms are **currently working together** on other courthouse projects including a renovation/rehabilitation (**exactly like Tyler County is doing**). Fentress is the nationally recognized consultant who federal courts, circuit courts, county courts and municipal courts engage to assess their facilities at the highest level. Fentress will perform rigorous analysis by creating "defensible analysis" which directly supports RSA's architectural solutions for Tyler County.

	<p>Point of Contact</p> <p>Randall B. Scott, AIA Founding Principal & CEO (e) rscott@rsarchitects.com (p) 972-664-9100</p>
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WHY RSA IS THE BEST TEAM FOR THE COURTHOUSE REHABILITATION:

1 CURRENT EXPERIENCE & COST DATA

We have designed (12) *Court & Government Buildings* in the *last 18 months*, collecting cost data on these twelve projects, makes our cost and comparison data extremely applicable to The Courthouse Rehabilitation Project. With so many relevant projects finishing just prior to the beginning of your project, *you will be the beneficiary of the most leading edge cost information*, design criteria, and architectural talent. Furthermore, RSA is currently working on a courthouse renovation/rehabilitation project in Lubbock, Texas (exact same need as Tyler County)

2 TEXAS COURTS ARCHITECT WITH NATIONAL COURT CONSULTANT

RSA has a strategic partnership with the preeminent courthouse consultant in the United States, Fentress Incorporated. Fentress and RSA have found a dynamic partnership on courthouse projects, because Fentress has consulted on *1,000+ courthouse facilities* across *all 50 states* and brings unmatched specialized knowledge in the *courthouse analytics*, caseload *projections*, prosecutorial *initiatives* and performance *metrics*. Our two firms are *currently working together* on other projects.

3 HAND SELECTED "A-TEAM" EXPERTS

This *team was hand selected* for *The Tyler Courthouse Rehabilitation* in order to provide the County with a project team of highly experienced professionals with unmatched experience in Courts across Texas. We are committing our 'A' Team at RSA to Tyler County. This will be the same team throughout the entire delivery to ensure continuity and implementation of the County's vision for this facility.

4 COURTS ALL ACROSS TEXAS

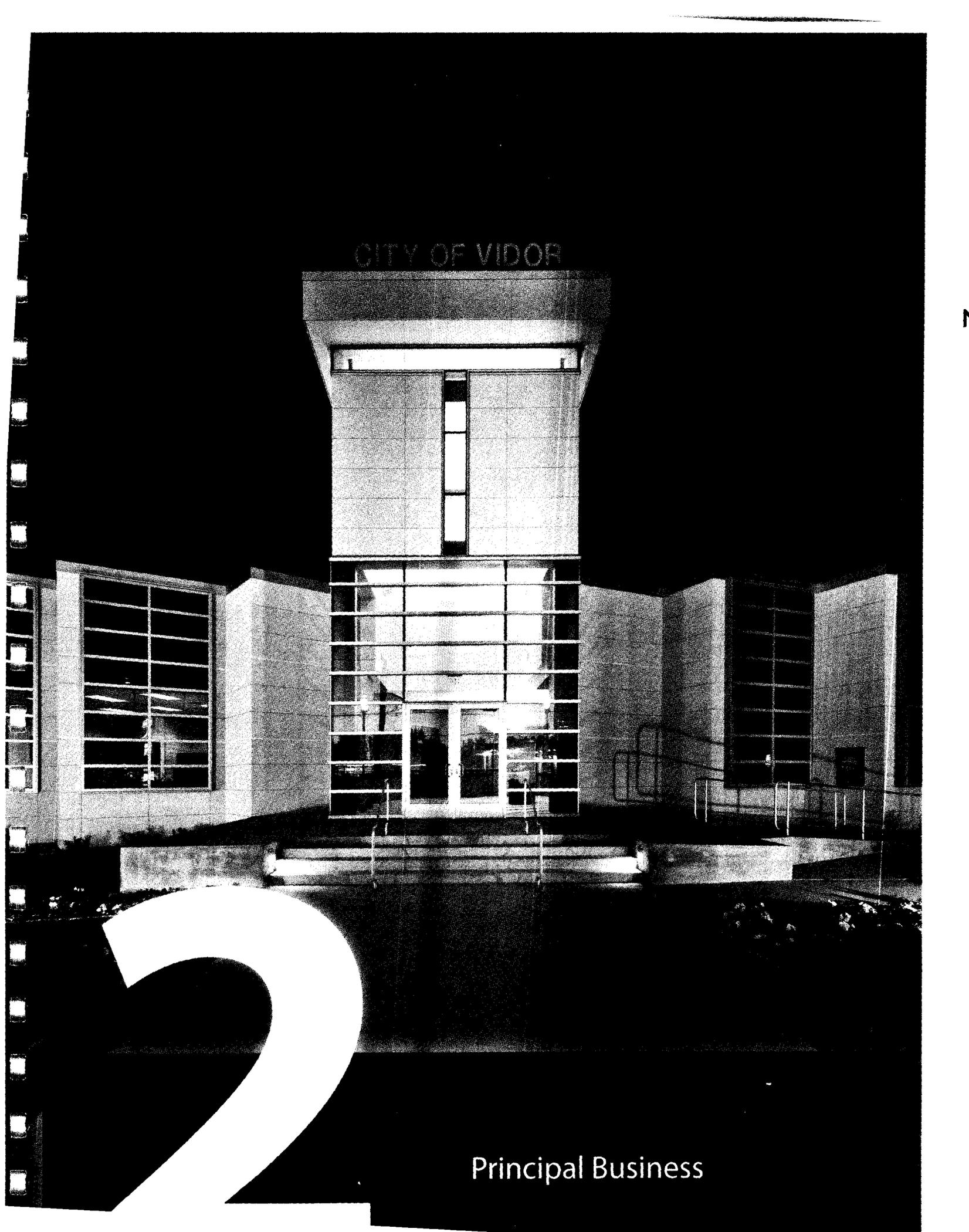
RSA has designed Courts in locations such as:

Anna, TX | Commerce, TX | Lubbock, TX | Granbury, TX | Glenn Heights, TX | Prosper, TX | Fulshear, TX | Vidor, TX | and many more!

5 OUR EXPERTS ARE READY & AVAILABLE

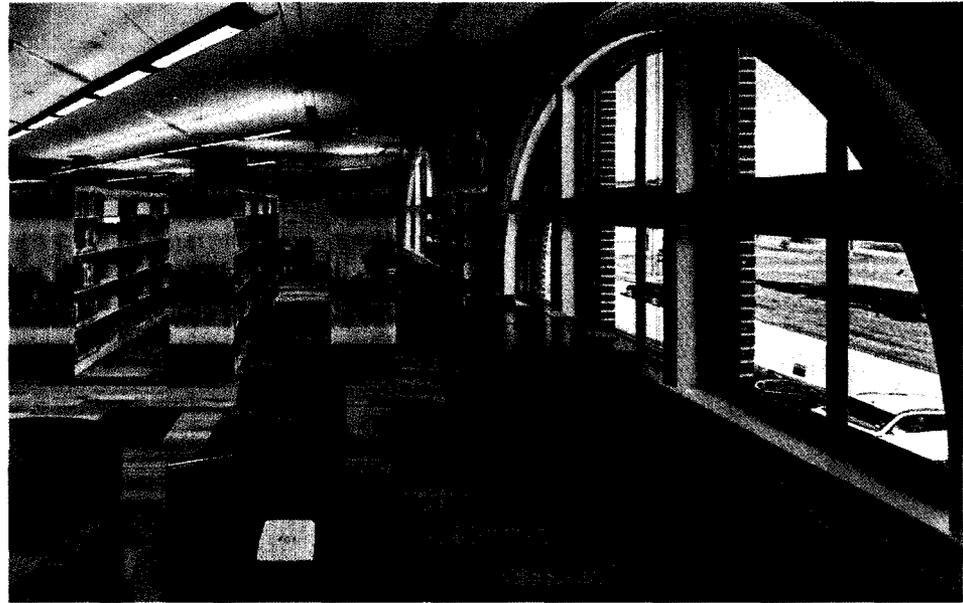
We just finished up a *\$19.5 Million Court & Government Building in Prosper, Texas (Collin County)* and will soon be finishing another *\$26 Million Courts & Government Office Complex in Anna, Texas (Collin County)* as well as a *\$19 Million Government Office Campus in Boerne, Texas (Kendall County)*. The timing of these projects (finishing construction) avails an incredible team of architects who can undertake the Frisco project with outstanding talent and horsepower.

CITY OF VIDOR



Principal Business

**TYPES OF PROJECTS IN WHICH
RSA IS USUALLY ENGAGED**



Delta County

- **Courthouse**
 - » Facility Needs Assessment

Prosper, TX (Collin County)

- **Courts & Government Offices**
 - » Needs Assessment, Full Architectural Services & Construction

Glenn Heights, TX (Dallas and Ellis Counties)

- **Courts, Public Safety & Government Offices**
 - » Space Needs Assessment and Conceptual Design

Anna, TX (Collin County)

- **Courts & Public Safety**
 - » Space Needs Assessment and Conceptual Design

Canadian, TX (Hemphill County)

- **Court & Government Offices Facility**
 - » Space Needs Assessment and Conceptual Design

Granbury, TX (Hood County)

- **Historic Grade - Courts, Law Enforcement & Offices**
 - » Needs Assessment, Full Architectural Services & Construction

Boerne, TX (Kendall County)

- **Government Offices Facility**
 - » Needs Assessment, Full Architectural Services & Construction

Commerce, TX (Hunt County)

- **Courts Facility & Public Safety**
 - » Needs Assessment, Full Architectural Services & Construction

Jacksonville, TX (Cherokee County)

- **Courts & City Hall**
 - » Space Needs Assessment and Conceptual Design

Tomball, TX (Harris County)

- **Courts & City Hall**
 - » Space Needs Assessment and Facilities Master Plan

Corinth, TX (Denton County)

- **Courts & Administration Building**
 - » Space Needs Assessment and Facilities Program

College Station, TX (Brazos County)

- **Courts & City Hall**
 - » Space Needs Assessment and Conceptual Design

Vidor, TX (Orange County)

- **Courts & Emergency Operations Center**
 - » Needs Assessment, Full Architectural Services & Construction

Travis County

- **Fire Station #1 for ESD #3**
 - » Needs Assessment, Site Assessments & Conceptual Plan

Hays County (Partner with Texas State University)

- **Sheriff Training & Advanced Law Enforcement Rapid Response Training (ALERRT) facility**
 - » Needs Assessment, Site Assessments & Conceptual Plan

Center, TX (Shelby County)

- **Law Enforcement Complex & EOC**

Sugar Land, TX (Fort Bend County)

- **Law Enforcement & Fire Training Facility Master Plan**
 - » Space Needs Assessment and Conceptual Design

Decatur, TX (Wise County)

- **Central Fire Station & EOC**
 - » Space Needs Assessment and Schematic Design

Clyde, TX (Callahan County)

- **Law Enforcement, Fire Department & EMS Facility**
 - » Space Needs Assessment and Campus Master Plan

Texas Department of Public Safety (Texas Facilities Commission)

- **State Trooper Headquarters**
 - » Needs Assessment, Full Architectural Services & Construction
- **Fleet Maintenance Building**
 - » Needs Assessment, Full Architectural Services & Construction

Dallas, TX (Dallas County)

- **Inwood Road Operations/Service Center, Purchasing Warehouse and Heavy Truck Body Rebuild Shop Renovations and Expansion**
 - » Needs Assessment, Full Architectural Services & Construction
- **Martin Luther King Community Center**
 - » Space Needs Assessment and Master Plan
- **Fire Station No. 40 (LEED Silver)**
 - » Needs Assessment, Full Architectural Services & Construction

Grand Prairie, TX (Dallas, Tarrant & Ellis Counties)

- **Tourist Information Center**
 - » Space Needs Assessment and Preliminary Design

Haltom City, TX (Tarrant County)

- **Public Works Facility**
 - » Space Needs Assessment and Master Plan
- **Animal Services & Adoption Center**
 - » Space Needs Assessment and Master Plan
- **Central Fire Station, EOC & Fire Administration**
 - » Needs Assessment, Full Architectural Services & Construction

Joshua, TX (Johnson County)

- **Central Fire Station, EOC & Fire Administration**
 - » Needs Assessment, Full Architectural Services & Construction

North Richland Hills, TX (Tarrant County)

PATH TO SUCCESS: COLLABORATIVE & CONCURRENT PROCESS BETWEEN RSA & FENTRESS

FENTRESS (COURTHOUSE ANALYSIS CONSULTANT)

Projecting Demand

Quantifies courthouse demand through an examination of geographic, demographic, and economic data, and existing and projected court workload. This provides an initial assessment of the court's current and projected judicial, staffing, and space needs for court review in Step 2.

Setting a Vision

Establishes a court planning team representing all court units and related stakeholders to provide firsthand insight regarding current and projected workload, staffing, and space needs. These observations are used to refine the results of Step 1 and to develop final space projections based on a consensus of the planning team members.

Assessment Metrics

Moves from establishing demand to identifying capacity. The activities involved in Step 3 focus on obtaining a quantifiable assessment of the existing courthouse using a comprehensive set of performance metrics. The results determine the extent to which the court's existing facilities can meet current and projected operational needs.

Need Versus Capacity

Seeks to answer the question "What projected space needs cannot likely be met in the existing facility?" by comparing demand addressed in Steps 1 and 2 with the courthouse capacity addressed in Step 3.

Identifying Alternatives

Identifies the most feasible strategies for addressing both current and future space and adjacency needs in the courthouse.

Selecting an Execution Strategy

Minimizes the risks to court operations through the selection of an individual, long-term solution (or combination of short- and long-term solutions) that closes the gap between need and performance in the most cost-effective manner.

Program of Requirements

Working with RSA, Fentress helps to establish a final program of requirements, which is an itemized listing of required spaces, including the number, size, and adjacency considerations for each space type. Based on the demand analysis and the assessment of existing capacity, the program of requirements provides the transition from the planning phase to the architectural design phase.

RSA (ARCHITECT)

Benchmarking Tours

Tours of existing Court facilities that our Clients are interested in visiting have been an invaluable asset in our Design Team's understanding of critical design issues for the Client. The benchmarking tours provide an opportunity for the county staff, judges and stakeholders to impart vision and direction on the design team as they all experience peer & benchmark facilities together. A benchmarking tour is a wonderful consensus building endeavor.

Programming

RSA's initial process will include the distribution of customized Programming Questionnaires. Workshops will be held with Staff, judges and stakeholders to review the questionnaires. RSA, will then prepare a Preliminary Program of Requirements (POR) for review with each of the departments. As Fentress is collecting the metrics, data and operational vision for the new facility, RSA is collecting facility space needs and preparing the draft Program of Requirements. As the process continues, RSA works with Fentress and the county to build in the Fentress performance metrics, findings and needs.

Align Preliminary Costs with Budget

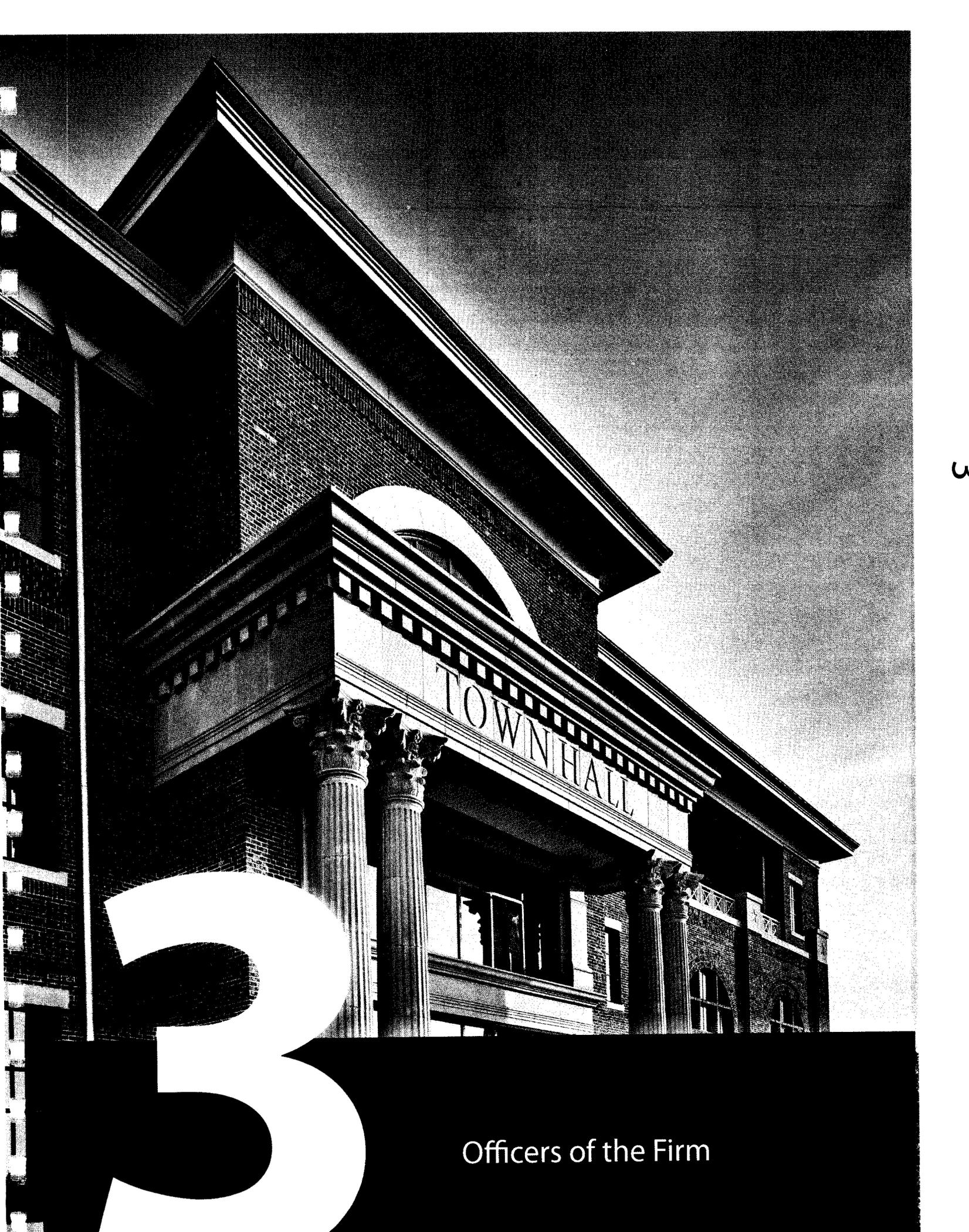
At this point the Program of Requirements will include the cost per square foot and the total cost for each line item space in the POR. This iterative Programming Workshop allows Staff to gain an early understanding of the cost of the Renovation of the Courthouse and each of its components. If the budget needs to be trimmed, the Program and therefore the Project Cost can be edited at the Workshop with the participants. Before RSA leaves the Workshop, the project will be within budget with both a Construction Only Cost and the Total Project Cost known.

Visioning Session

At the Visioning Session Workshop, RSA will bring large sheets with images of other exemplary facilities on them and allow Staff to place red and green dots on the images they prefer or do not like. This gives RSA a clear understanding of the County's vision and direction for their new facility and will be used as the inspiration images for our proposed design.

Focus Groups & In Situ Design Charrettes

Once the Facility Program is reconciled with the County's preliminary budget, RSA will host an all day in-situ design charrette working in Focus Groups with each of the major departments creating multiple options of block floor plans positioning scale color coded room blocks into departmental layouts. The resulting block plans are subsequently combined by RSA into floor plans for review with the Stakeholders. This is the launching point for an outstanding architectural solution, because Fentress and RSA have built the foundation for a collaborative and concurrent process.



3

3

Officers of the Firm

This team was hand-selected for The County of Tyler in order to provide the county with a project team of highly experienced professionals with unmatched experience. **WE ARE COMMITTING OUR 'A' TEAM AT RSA TO THE COUNTY OF TYLER PROFESSIONAL ARCHITECT SERVICES.**



Randall B. Scott, AIA



Dan Brantner, AIA



Preston Scott



Vance Lazar, AIA



Ed Bailey, AIA

RSA'S TEAM OF COUNTY SPECIALISTS

Randall B. Scott, AIA

Founding Principal & CEO

2140 Lake Park Blvd., Ste D
Richardson, TX 75080

(972) 664-9100

Dan Brantner, AIA

Senior Vice President

2140 Lake Park Blvd., Ste D
Richardson, TX 75080

(972) 664-9100

Preston Scott

Principal

2140 Lake Park Blvd., Ste D
Richardson, TX 75080

(972) 664-9100

Vance Lazar, AIA

Project Architect

2140 Lake Park Blvd., Ste D
Richardson, TX 75080

(972) 664-9100

Ed Bailey, AIA

Director of Quality Control

2140 Lake Park Blvd., Ste D
Richardson, TX 75080

(972) 664-9100



RANDALL B. SCOTT, AIA

PRINCIPAL-IN-CHARGE

President & CEO
Randall Scott Architects, Inc

License
Architectural: TX (No. 9799):
AR, KS, MO, NC, TN
Interior Design (No. 5591):
TX

Years of Experience
30 Years

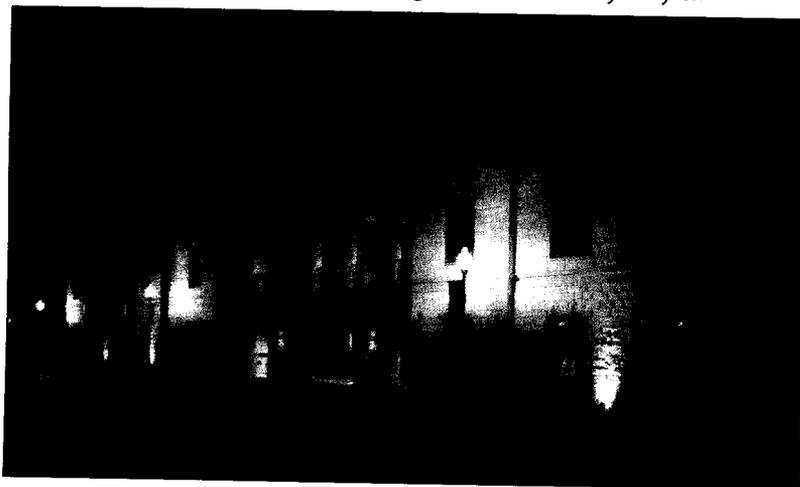
Education
M. Arch., Texas A&M University, 1982
B.E.D., Texas A&M University, 1979

Professional Affiliations
American Institute of Architects
Texas Society of Architects
AIA

Qualifications & Role

A specialist in the design of Public Architecture for the past 30 years, Randall has been the Principal-in-Charge/Project Designer on \$3.5 billion of Government, County and Civic architecture commissions. Randall has extensive experience in the design of Court Facilities, Law Enforcement, Government Offices, EOC'S, Administrative Offices, and other government architecture.

While always keeping the Owner's budget and schedule in mind, Randall is a visionary out-of-the-box thinker, always pushing the design envelope with fresh ideas and challenging pedestrian design theories while incorporating RSA's four design tenets of "Timeless Architecture," "Sustainability," "Innovation" and "Contextualism." Randall is the recipient of multiple design awards for Public Architecture in Central Texas and his personal goal is to bring national and regional recognition to our Clients as leaders among their peers for ground breaking design and planning. Randall is at the forefront of Sustainable Design and BIM Technology in the A/E industry and will serve as the Principal-in-Charge and Lead Designer for the County of Tyler.



Relevant Projects

- **Delta County**
Courthouse & Government Offices Needs Assessment
- **Library & Government Offices (Town Hall)**
Prosper, TX (Collin County)
Construction Cost: **\$19 Million**
- **Courts & Government Offices**
Granbury, TX (Hood County)
Construction Cost: **\$5 Million**
- **Courts & EOC**
Vidor, TX (Orange County)
Construction Cost: **\$5 Million**
- **Courts, Public Safety & Administration**
Anna, TX (Collin County)
Construction Cost: **\$24 Million**
- **Courts, Public Safety & City Hall**
Glenn Heights, TX (Dallas County)
Construction Cost (est.): **\$10 Million**
- **Courts & Downtown Plaza**
Lubbock, TX (Lubbock County)
Construction Cost (est.): **\$4 Million**
- **Government Offices**
Parker, TX (Collin County)
Construction Cost (est.): **\$6 Million**



DAN BRANTNER, AIA, LEED AP

PROJECT MANAGER

Sr. Vice President
Randall Scott Architects, Inc.

License
Architectural: TX (No. 11441)
Status: Active

Years with Firm
14 Years

Education
B. Arch., North Dakota State University, 1982
Bachelor, North Dakota State University, 1981

Professional Affiliations
American Institute of Architects
Texas Society of Architects
U.S. Green Building Council
AIA - Dallas Chapter

Qualifications & Role

Dan is a major opportunity for the County of Tyler to procure one of the best project managers in the state of Texas. He has been the project manager for many of RSA's award-winning projects.

Dan brings some very unique skills with him as Project Manager. *He is a LEED AP* and offers a wealth of knowledge in sustainable design. Additionally Dan is an accredited *Mensa*, which means he has an extremely high intellect allowing him to choreograph complex schedules, budgets, design and information into a unique symphony of project management.

Relevant Projects

- ▶ **Delta County**
Courthouse & Government Offices Needs Assessment
- ▶ **Courts, Public Safety & Administration**
Anna, TX (Collin County)
Construction Cost: **\$24 Million**
- ▶ **Courts, Public Safety & City Hall**
Glenn Heights, TX (Dallas County)
Construction Cost (est.): **\$10 Million**
- ▶ **Courts & Downtown Plaza**
Lubbock, TX (Lubbock County)
Construction Cost (est.): **\$4 Million**
- ▶ **Government Offices**
Parker, TX (Collin County)
Construction Cost (est.): **\$9 Million**
- ▶ **State Administration Building**
Texas Facilities Commission
Total Budget: **\$16 Million**



PRESTON SCOTT, LEED AP PRINCIPAL



Randall Scott Architects, Inc

Qualifications and Role

A specialist in the programming, planning and design of Public Architecture for the past 11 years, Preston has worked on six Public and Local Government projects over the past 18 months. Preston has extensive experience in the needs assessment process and the consensus building workshops that are critical to the success of such projects.

Years with Firm

12 Years

Education

M. Arch., Texas A&M University
B.E.D., Texas A&M University,

Registration

LEED AP BD+C

Professional Affiliations

American Institute of Architects
Texas Society of Architects
Texas Municipal League
U.S. Green Building Council

"RSA has been one of the premier design architects I have had the privilege of working with."
- Jerry Minter, Lieutenant, City of Dallas

Relevant Projects

Library & Government Offices (Town Hall)

Prosper, TX (Collin County)

Construction Cost: **\$19 Million**

Travis County ESD #1 Public Safety Building - Needs Assessment & Site Assessments

Courts, Public Safety & Administration Anna, TX (Collin County)

Construction Cost: **\$24 Million**

Courts, Public Safety & City Hall Glenn Heights, TX (Dallas County)

Construction Cost (est.): **\$10 Million**

Courts & Downtown Plaza

Lubbock, TX (Lubbock County)

Construction Cost (est.): **\$4 Million**

Government Offices

Parker, TX (Collin County)

Construction Cost (est.): **\$9 Million**

State Administration Building

Texas Facilities Commission

Total Budget: **\$16 Million**

Delta County

Courthouse & Government Offices Needs Assessment

Government Offices Facility

Programming, Master Planning, Design & Construction

Boerne, TX (Kendall County)

Courts Facility & Administrative Offices

Anna, Texas (Collin County)



Texas State Trooper Headquarters
Florence, TX
(Williamson County)



Government Offices Facility
City of Boerne, TX
(Kendall County)

VANCE LAZAR, AIA

PROJECT ARCHITECT



Years with Firm
6 Years

Associate Vice President
Randall Scott Architects, Inc

Education

B.S. Architecture, Louisiana State University 1995
Minor- Construction Management
M.S. Architecture- Specializing Computer Visualization
Mississippi State University 1998

Qualifications and Role

Vance is RSA's Director of Operations and will serve as Project Architect. Vance is working on all of RSA's Public Projects. Vance has acted as a Project Architect on a plethora of projects.

Registration

Architectural: TX (No. 20275), LA (No. 6666)

Vance's breadth of experience on all types of Government and Public Architecture commissions provides him with the unique ability to address design and planning issues from the larger perspective. A programmer, planner, designer and project manager with experience on numerous County, Municipal and Public projects from inception through the one year warranty inspection, Vance is a consensus builder always cognizant of keeping the Owner's budget and schedule in check. His experience on numerous national award winning projects reflects his sensitivity toward design, sustainability and embracing the future.

Professional Affiliations

American Institute of Architects

Texas State Trooper Headquarters Texas Facilities Commission (Williamson County)



RELEVANT EXPERIENCE

Courts Facility & Administrative Offices

Programming, Master Planning, Design & Construction
Anna, TX - 2016 Project (Cooke County)

Government Offices Facility

Programming, Master Planning, Design & Construction
Boerne, TX - 2017 Project (Kendall County)

Library & Government Offices (Town Hall)

Programming, Master Planning, Design & Construction
Prosper, TX - 2017 Project (Collin County)

Texas DPS State Trooper Headquarters

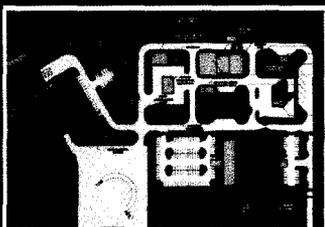
Programming, Master Planning, Design & Construction
Florence, TX - 2014 Project (Williamson County)

Law Enforcement Training Center

Master Plan, Site Assessment & Phased Cost Estimating
Sugar Land, TX (Fort Bend County)

Courts, Law Enforcement & Fire/EMS Complex

Programming, Master Planning, Design & Construction
Glenn Heights, TX - 2017 Project (Dallas County)



Law Enforcement Training Center
Sugar Land, TX (Fort Bend)



Courts, Law Enforcement & Fire/EMS
Glenn Heights, TX (Dallas County)

COURTS, LIBRARY & GOVERNMENT OFFICES

Prosper, TX





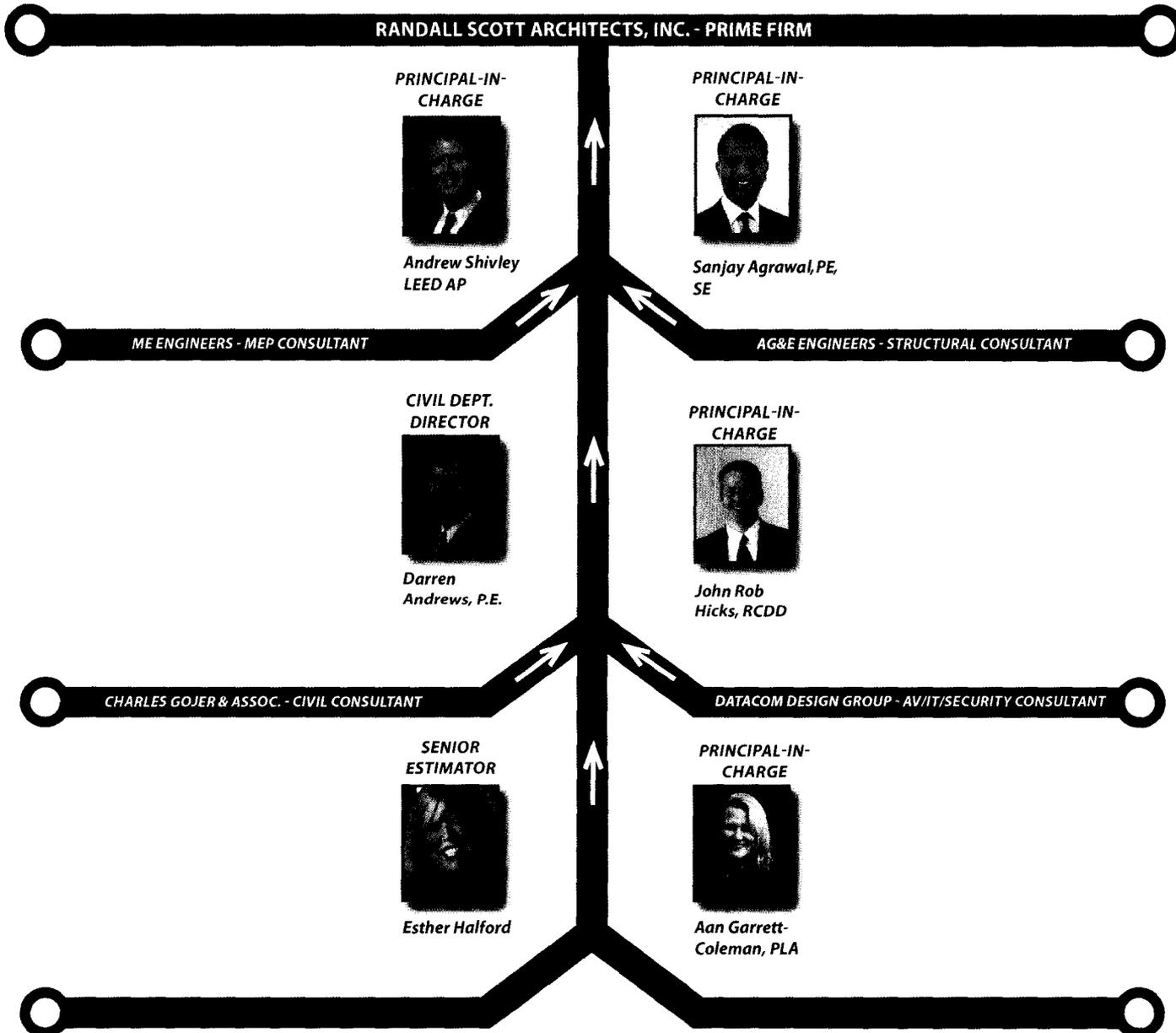
4

Professionals

ORGANIZATION CHART

LEAD DESIGNER	PROJECT MANAGER	LEAD PLANNER	PROJECT ARCHITECT	QUALITY CONTROL
				
<i>Randall B. Scott, AIA</i>	<i>Dan Brantner, AIA</i>	<i>Preston Scott</i>	<i>Vance Lazar, AIA</i>	<i>Ed Bailey, AIA</i>

RSA'S TEAM OF COUNTY SPECIALISTS



ME ENGINEERS (HUB)

MEP
1825 Market Center Blvd.
Suite 415
Dallas, TX 75207
www.me-engineers.com

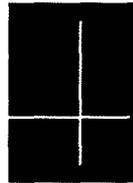


ME Engineers, Inc., founded in 1981, is a full-service mechanical and electrical consulting engineering firm. Currently, our firm has a staff of over 275 people. We are based in Denver, Colorado with offices in Los Angeles, California; New York, New York; Baltimore, Maryland; Colorado Springs, Colorado; London, England; San Francisco, California; Kansas City, Missouri; Dallas, Texas; Houston, Texas; Doha, Qatar; and Chennai, India.

Our services are primarily delivered through architects in the development of plans for new facilities, and by working directly for facility owners in the form of enhancements, renovations, and energy retrofits. ME Engineers, Inc. has an outstanding record in the design of county and public facilities.

AG&E STRUCTURAL ENGENUITY (HUB)

Structural Engineering
7800 IH-10 West
Suite 110
San Antonio, Texas 78230
http://www.age-se.com



AG&E Structural Engenuity (AG&E-SE) is a nationally recognized, full service structural engineering consulting firm founded in Dallas in 2004. We provide sustainable structural engineering design, forensic assessments, dynamic analytics, and laser scanning for all types of projects utilizing the latest design techniques, computer applications, and proven engineering concepts. AG&E-SE derives structural solutions based on efficiency, economic feasibility, and support of a project's architectural intent and expression. Our wide range of market sectors includes commercial, retail, industrial, mission critical, education, research, municipal, healthcare, and transportation.

CHARLES GOJER & ASSOCIATES, INC (HUB)

Civil Engineering
11615 Forest Central Drive
Dallas, TX 75243
cgojer.com



Charles Gojer & Associates, Inc.
CIVIL AND STRUCTURAL ENGINEERS

CGA has completed projects in a wide range of project types, including educational, municipal, industrial, correctional, and healthcare facilities; our experience ranges from small feasibility studies on existing structures to multi-million dollar new construction projects. We also have experience in Design/Bid/Build, CM at Risk, and Design/Build. Charles Gojer & Associates is up-to-date on the latest engineering technologies, employing BIM for the majority of our structural work.

DATAKOM DESIGN GROUP (HUB)

AV/IT/Security
10300 N Central Expy
Dallas, TX 75231
datakomdesign.com



DataKom Design Group has worked on many municipal projects incorporating the most advanced technology solutions. We size pathways to handle high-bandwidth applications; we design dynamic audio-video systems to work with the newest learning devices; we implement dependable security systems to optimize protection of people and property. And we coordinate with A/E teams to integrate all systems for seamless performance – to ensure the maximum return on investment.

HALFORD BUSBY, LLC (HUB)

Cost Estimating
17350 TX-249
Houston, TX 77064
halfordbusby.com



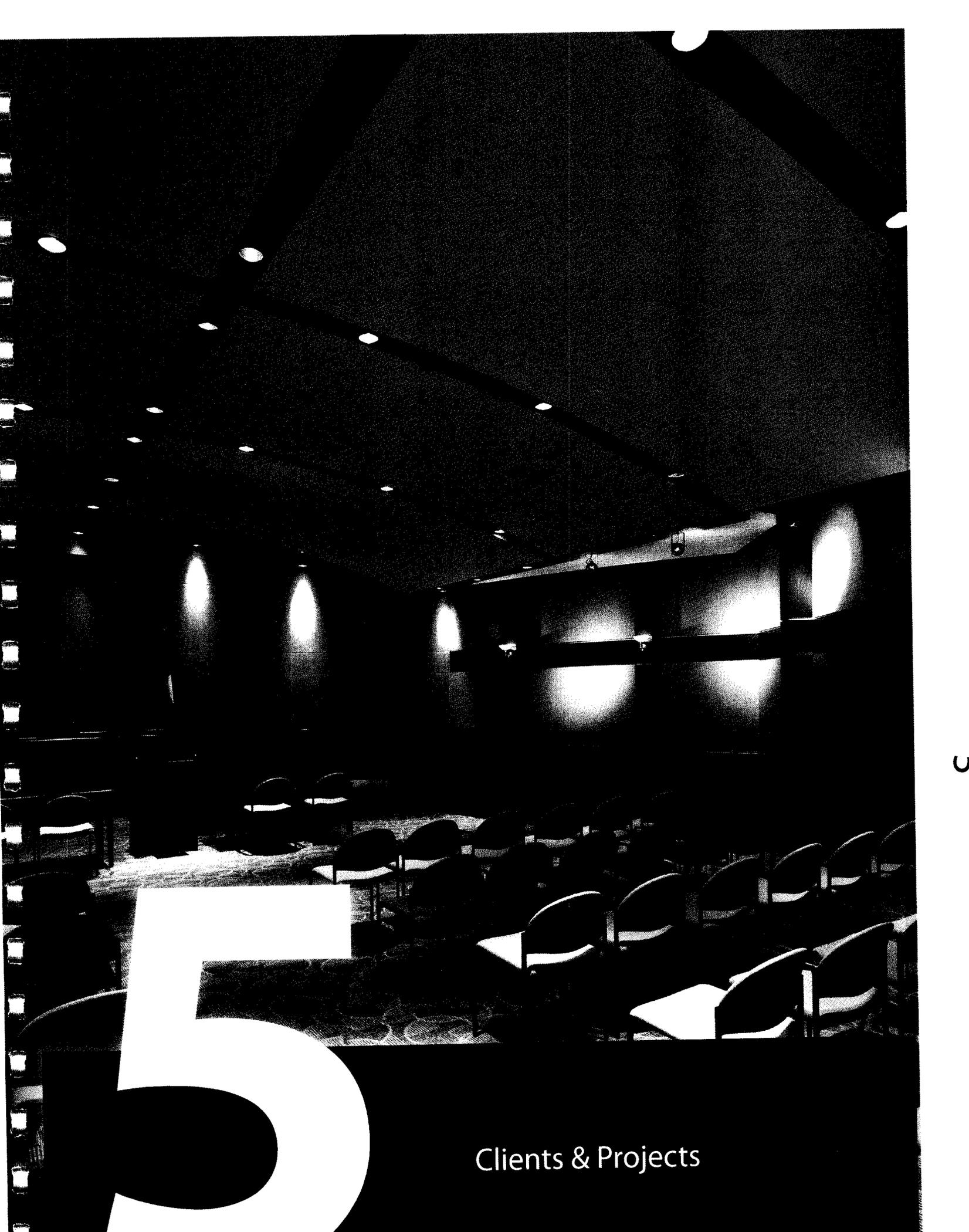
Halford Busby is a HUB certified cost estimating sub-contractor that has collaborated with RSA municipal projects throughout the state of Texas. Their estimates have been accurate within two percent on every RSA project over the last decade.

COLEMAN & ASSOCIATES (HUB)

Landscape Architect
9890 Silver Mountain Drive
Austin, TX 78737
colmanandassoc.com



Coleman & Associates was founded in 1987 and has been proudly designing and implementing outstanding landscapes across Texas ever since. We are committed to each project's success functionally, aesthetically, environmentally, and financially. We strive to be responsive, creative in our problem solving, financially aware and proactive, and dedicated to quality of product, regardless of project type, size, scope, or budget.



Clients & Projects

PRINCIPAL CLIENTS SERVED OVER THE PAST FIVE YEARS

Delta County

- Courthouse
 - » Facility Needs Assessment

Prosper, TX (Collin County)

- Library & Government Offices
 - » Needs Assessment, Full Architectural Services & Construction

Tyler, TX (Smith County)

- UT Tyler Health Science Center
 - » IDIQ Contract

Boerne, TX (Kendall County)

- Government Offices
 - » Needs Assessment, Full Architectural Services & Construction

Wichita Falls, TX (Wichita County)

- Midwestern State University Health Science Center
 - » Needs Assessment, Full Architectural Services & Construction

Travis County

- ESD #1
 - » Needs Assessment & Site Assessment

College Station, TX (Brazos County)

- Texas A&M University Agricultural Building #5
 - » Needs Assessment, Full Architectural Services & Construction

Terrell, TX (Kaufman County)

- TVCC Terrell Hospital Health Science Center
 - » Needs Assessment, Full Architectural Services & Construction

Anna, TX (Collin County)

- Public Safety Facility
 - » Space Needs Assessment

Denton, TX (Denton County)

- UNT System IDIQ
 - » Architectural Services Contract

Athens, TX (Henderson County)

- TVCC Professional Building
 - » Needs Assessment

Parker, TX (Kendall County)

- Court & Government Offices Facility
 - » Space Needs Assessment and Conceptual Design

Anna, TX (Collin County)

- Government Offices Complex
 - » Space Needs Assessment and Full Design

Stephenville, TX (Erath County)

- Tarleton State University Recreation Center Expansion
 - » Space Needs Assessment and Conceptual Design

Terrell, TX (Kaufman County)

- TVCC&TISD Health Science Academy
 - » Space Needs Assessment and Conceptual Design

Kilgore, TX (Gregg & Rusk Counties)

- Emergency Services Facility
 - » Facility Assessment & Needs Assessment

Tomball, TX (Harris County)

- Courts & City Hall
 - » Space Needs Assessment and Facilities Master Plan

Sugar Land, TX (Fort Bend County)

- Law Enforcement & Fire Training Facility Master Plan
 - » Space Needs Assessment and Conceptual Design

Lubbock, TX (Lubbock County)

- Court Facility
 - » Needs Assessment, Site Assessments & Conceptual Plan

Killeen, TX (Bell County)

- Central Fire Station
 - » Needs Assessment, Full Architectural Services & Construction

Killeen, TX (Bell County)

- Senior Center
 - » Needs Assessment, Full Architectural Services & Construction

Glenn Heights, TX (Dallas and Ellis Counties)

- Courts, Public Safety & Government Offices
 - » Space Needs Assessment and Conceptual Design

Canadian, TX (Hemphill County)

- Court & Government Offices Facility
 - » Space Needs Assessment and Conceptual Design

Tomball, TX (Harris County)

- Courts & City Hall
 - » Space Needs Assessment and Facilities Master Plan

Fentress Project Info/Example

Fentress

Historic Main Entrance Lobby

Renovation Case Study Preserving History

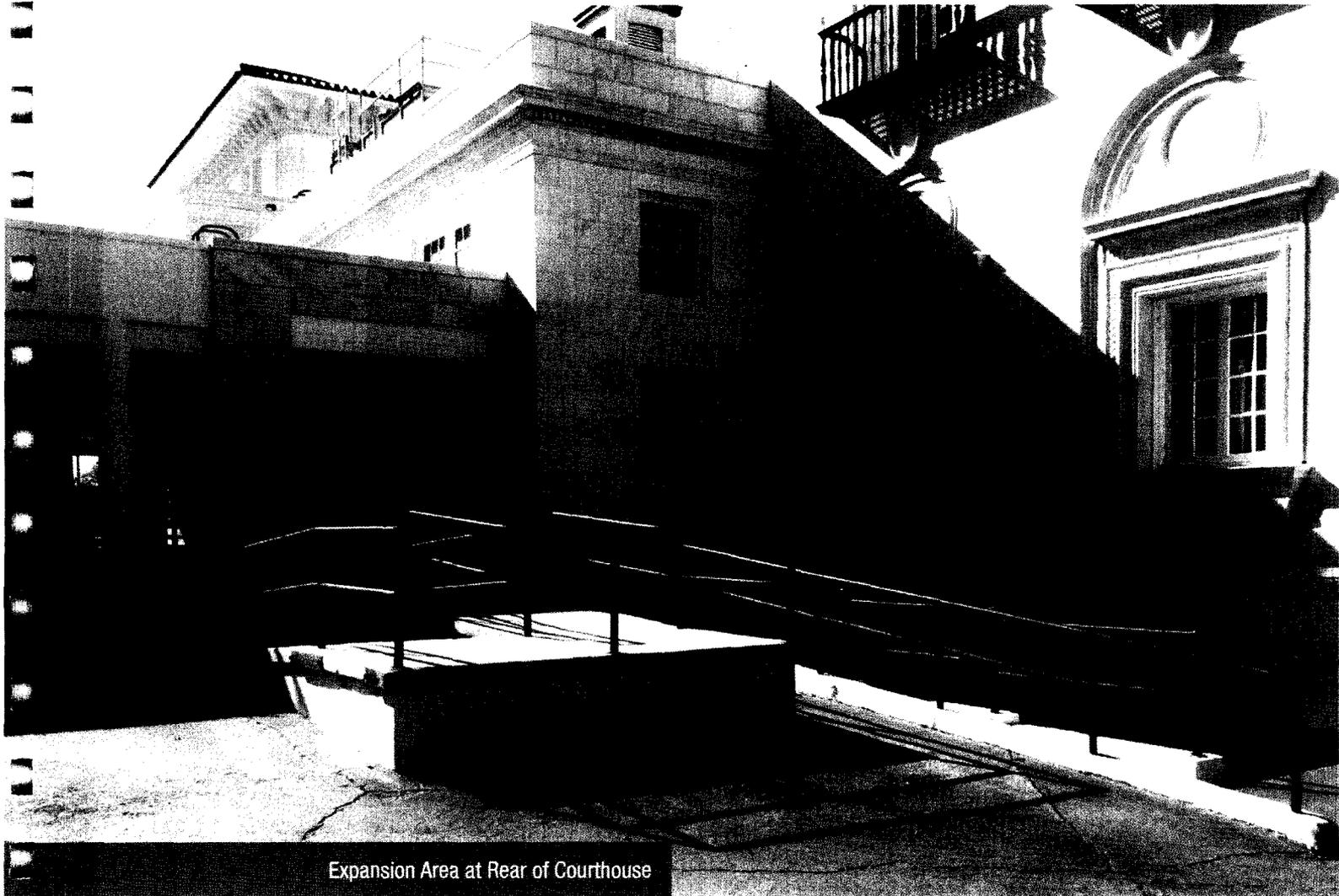
This antebellum-era courthouse in the New South presented very different challenges than the “perfect storm” courthouse in the Pacific Northwest. The economic base of this region had historically been textile and furniture manufacturing. As occurred in many southern states, the advent of the global economy encouraged these industries to relocate to Southeast Asia. However, unlike some economically depressed southern communities that suffered from the loss of manufacturing employment, this community had aggressively pursued high-tech industries and was now

prospering and undergoing a period of substantial economic growth.

For the analytical portion of the courthouse needs equation, civil caseload, judges, court component personnel, and corresponding space needs were projected to increase in the upcoming decade due to growth in regional business activity. Unlike the crime-fueled growth that was experienced in the Pacific Northwest in the previous example, this projected growth in the New South was a welcome change.



Fentress Project Info/Example (Continued)



Expansion Area at Rear of Courthouse

On the architectural side of the equation, this historic courthouse was also more than 100 years old and was meticulously maintained over the past century. The structural and building systems were in excellent operational condition.

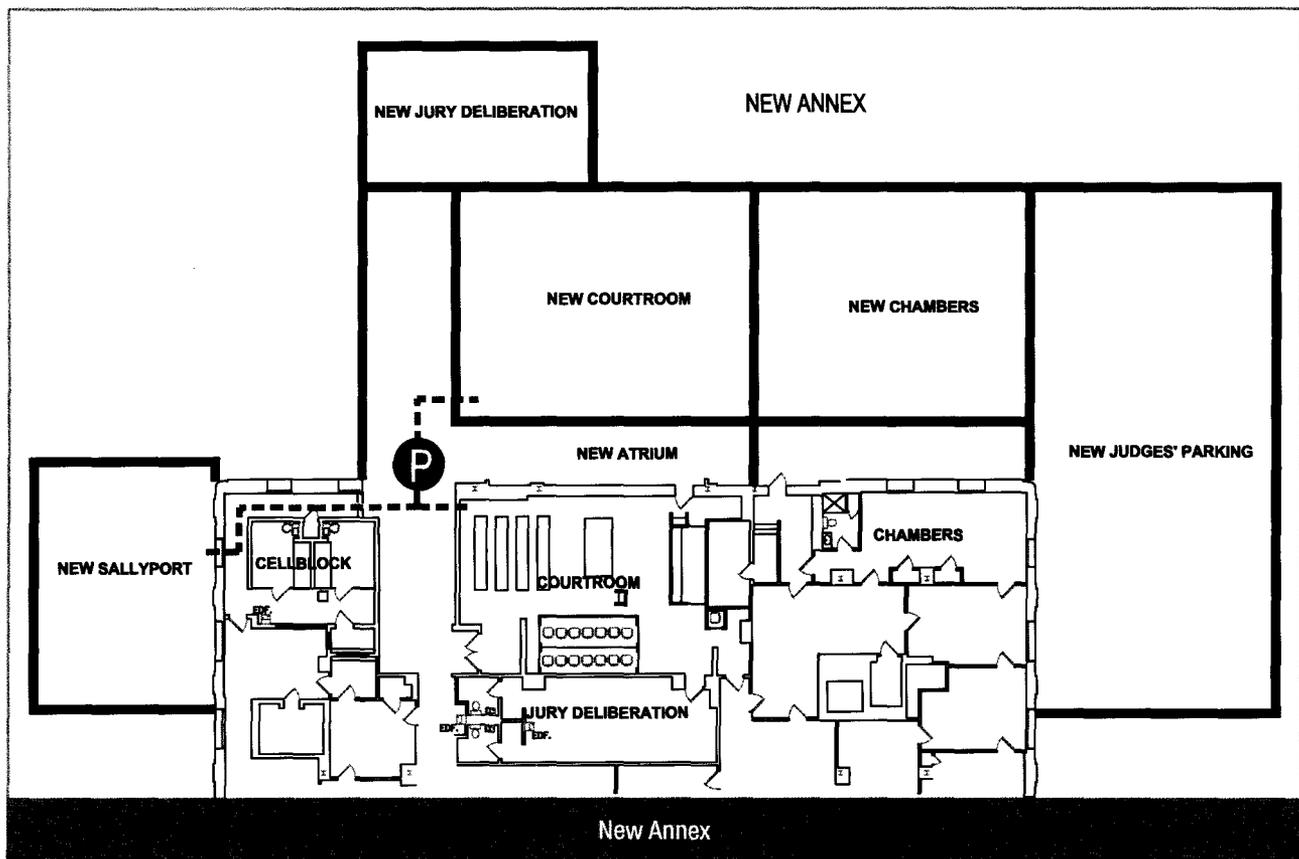
Although the courthouse did not have fully separate paths of circulation for judges, prisoners, the public, and staff, sufficient improvements had been made under an earlier renovation project to the cellblock and the prisoner circulation system, providing a foundation for a secure separation of public, restricted, and secured circulation.

Still, the projected growth in caseload clearly indicated the impending need for additional facilities to include a courtroom, judge's chambers, and expansion of the clerk's office. The courthouse itself offered no room for expansion. Fortunately, there was a large, on-site surface parking lot located at the rear of the courthouse. Equally fortunate, the existing courtrooms and chambers were located on the side of the building that faced this parking lot.





Fentress Project Info/Example (Continued)



As shown in the layout above, a plan for a partial renovation combined with an adjacent annex was developed that allowed the new courtroom and chambers to be integrated into the existing layout via an atrium located between the old and new structures. Additionally, the design of the annex allowed improvements to be made to the existing circulation system that reduced the conflicts between judge, prisoner, public, and staff movement, as well as the addition of a new sallyport and enclosed parking for the judges.

The overall rating score for the existing courthouse was **72.8**. The renovation and annex option brought the overall rating score up to **91.3**. With the addition of the annex and partial renovation, the overall rating score was much closer to 100, making it clear that this historic courthouse could and should be preserved.

A summary of the major analytical and architectural factors considered in the needs assessment equation is listed on the next page.



Fentress Project Info/Example (Continued)

PROJECTED FUTURE FACILITY DEMAND – EXISTING FACILITY QUALITY AND CAPACITY = NET FACILITY REQUIREMENTS (THE GAP)

ANALYTICAL FACTORS

Existing Deficiencies

- ▶ Increase in high-tech business activity and resultant increase in volume of related civil caseload
- ▶ Increase in complexity of civil cases and longer durations for proceedings
- ▶ Diminished courtroom availability and longer waiting periods between filing and trial

Future Needs

- ▶ One additional judge
- ▶ 10% increase in clerk's office staff

ARCHITECTURAL FACTORS

Existing Deficiencies

- ▶ No sallyport
- ▶ No enclosed judges' parking garage
- ▶ Some combined judges, prisoner, and public circulation

Future Needs

- ▶ One additional courtroom
- ▶ One additional chambers
- ▶ Additional clerk's office space



CONCLUSION

Net Facility Requirements (The Gap)

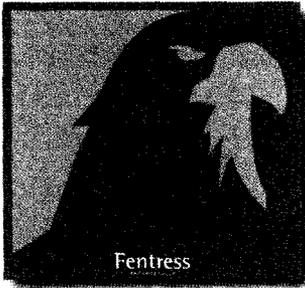
- ▶ The increase in court personnel required to respond to the increased business activity in the jurisdiction cannot be accommodated within the confines of the existing courthouse.
- ▶ The existing courthouse's structural and building support systems are in excellent condition.
- ▶ Available space at the rear of the courthouse can accommodate the construction of an annex.
- ▶ **Conclusion: Construction of an annex and minor renovation of the existing courthouse is the best solution to meet the current and future needs of the court.**

After completing the analysis and developing the first set of schematic plans, the planning team was pleasantly surprised at the multiple improvements that resulted from the proposed annex and renovation to the existing courthouse. With the exception of one manageable prisoner/public circulation conflict, the proposed courthouse layout was nearly perfect.

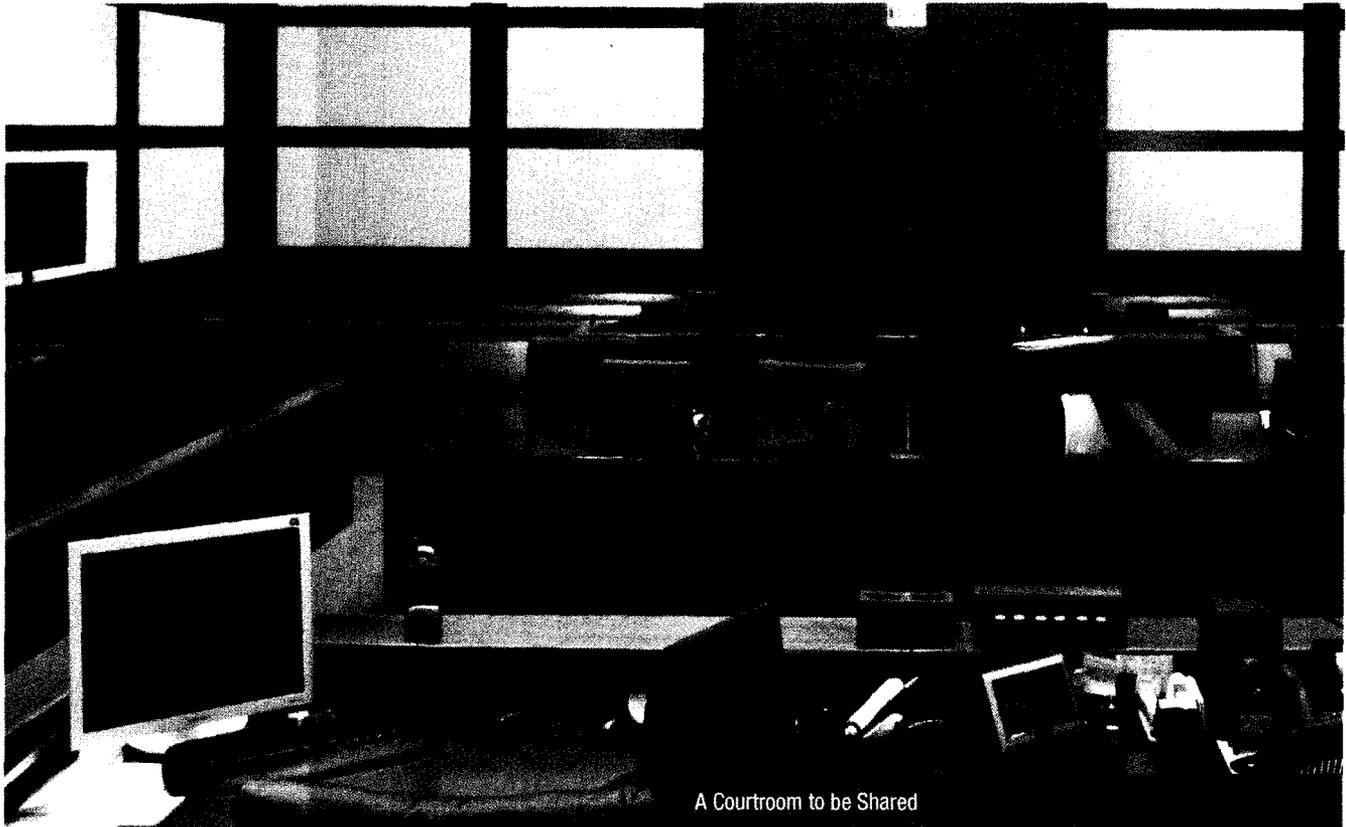
The availability of expansion space on the site was obviously a significant factor that contributed to the feasibility of this option. However, the factor that

truly differentiated this New South courthouse from the preceding Pacific Northwest example was the ongoing maintenance and facility improvements that allowed the existing courthouse to be retained without major renovation expense.

At the dedication ceremony following the completion of the annex, the clerk of court emphatically recognized those individuals who supported this ongoing maintenance effort and their consequent contribution to preserving this historic asset.



Fentress Project Info/Example (Continued)



A Courtroom to be Shared

Growing in Place Case Study No Easy Answer

A third and contrasting example was a courthouse assessed in a rural area of the Southwest. This courthouse proved to be a very challenging situation.

What was once a small, sleepy town had, in recent years, boomed into a much more populous mid-sized city. Using the courthouse needs equation as a framework, civil and criminal caseload, judges and court component personnel, and commensurate space needs were projected to substantially increase in the upcoming years. Regional growth resulted from the enactment of

the North American Free Trade Agreement (NAFTA) in 1994, and a demographic shift indicating substantial growth in low-income, 18- to 30-year-old males - a population cohort correlated with increased crime in the Southwest.

Although growth had come to town, it had not been accompanied by prosperity. Consequently, there had been a lack of available funds to adequately expand the jurisdiction's governmental facilities, including the courthouse, for several years. Therefore, the architectural portion of the equation included many infrastructure deficiencies.



Fentress Project Info/Example (Continued)



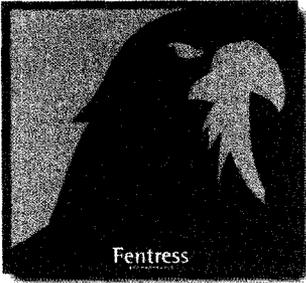
A Chambers Library and Conference Room to be Consolidated

At the time of the assessment, there were no funds available to allow for a courthouse renovation program, and needless to say, no funding options possible for a new courthouse. It was clear that the court would have to make do with the existing facility. The dilemma was how to make this happen in the face of the projected demand on the courthouse.

The architectural elements of the existing courthouse had previously been updated and the mechanical/electrical infrastructure had been brought to serviceable standards. Although the HVAC system components functioned at a minimally effective

level, the system was holding together until the lack of funds made it difficult to maintain these previous improvements. Secure circulation patterns were also adequate. The major challenge was how to accommodate demands on space.

Two new courtrooms and related judges' chambers were needed, as was substantial additional space to accommodate growth in the clerk of court's office and the parole office. To that end, an approach with three steps for consolidating within existing space was proposed and offered a viable solution for accommodating the court's projected needs.



Fentress Project Info/Example (Continued)

The first component involved the use of courtroom sharing. Two existing characteristics of the court aligned well this approach:

- The court utilized four full-sized courtrooms of approximately the same square footage and layout for both criminal and civil proceedings. Further, the court intended to maintain a similar practice as caseload increased.
- Case filing and case management were done electronically, producing an efficient docketing process.

In light of the expressed willingness on the part of the judges to cooperate with this approach, courtroom sharing appeared to be an entirely feasible solution to accommodate the anticipated growth in caseload.

The second step involved the use of collegial chambers. Again, the expressed willingness on the part of the judges to cooperate in this venture made a collegial chambers arrangement feasible. To avoid any more renovation expense than was absolutely necessary, it was recommended that the judges' staff, conference room/library, and kitchenette be moved out of the chambers and consolidated in a nearby underutilized file space. This space would provide shared support functions for the two existing judges and two new judges. The vacated chambers space could then be refurbished to provide two additional judges' offices.

The third component involved space reduction through design for mobility and the consolidation of shared administrative services. It seemed entirely possible, given the collaborative nature of the court component managers, to apply the concept of space reduction in the clerk's office, parole office, and several other smaller administrative areas through contemporary layouts tailored to the needs of the court's technology-enabled workers. Reconfiguring the furniture in these areas to allow for mobility and flexibility (i.e., growing in place) would allow an increased number of staff to work effectively in the same amount of space. Moreover, sharing administrative services - including human resources, budget, and information technology - between the court components further consolidated the existing space in this progressive court.

The overall rating score for the existing courthouse was **71.4**. The overall rating score for the growing in place solution brought the courthouse's rating up to **88.6**. While this construction-less solution could not bring the overall rating closer to 100, its cost-effectiveness more than made up for its more minor compromises.

A summary of the major analytical and architectural factors considered in the needs assessment equation is listed on the next page.



Fentress Project Info/Example (Continued)

**PROJECTED FUTURE FACILITY DEMAND – EXISTING FACILITY QUALITY AND CAPACITY
= NET FACILITY REQUIREMENTS (THE GAP)**

 ANALYTICAL FACTORS

Existing Deficiencies

- ▶ Substantial increase in population growth, business activity, criminal activity, and resultant caseload
- ▶ No possibility of funding for renovation of the existing courthouse or construction of a new courthouse

Future Needs

- ▶ Two additional judges
- ▶ 30% increase in clerk's office staff
- ▶ 30% increase in parole officers

 ARCHITECTURAL FACTORS

Existing Deficiencies

- ▶ Minimally functional HVAC, electrical, and plumbing infrastructure

Future Needs

- ▶ Two additional courtrooms
- ▶ Two additional chambers
- ▶ Additional clerk's office space
- ▶ Additional parole officer space



CONCLUSION

Net Facility Requirements (The Gap)

- ▶ The increase in court personnel required to respond to the increased population growth, increased business activity, and increased criminal activity in the jurisdiction cannot be accommodated by the existing court facilities.
- ▶ No funding source exists for expanding the existing court facilities.
- ▶ The existing building infrastructure can continue to support the facility.
- ▶ **Conclusion: Implementing courtroom sharing, collegial chambers, and space reduction initiatives together form the best solution to meet the current and future needs of the court.**

Although this three-part solution was well received by the court, applying the proposed procedural changes was not easy. The task of successfully implementing the solutions required continued commitment on the part of the judges, clerk of court, court component managers, and staff for an extended period of time. For several years after the completion of the planning study, the clerk

periodically requested advice regarding one or more administrative management or coordination issues that appeared critical to making the growing in place programs work smoothly. However, while it may not have been easy for the court, the strategy did, in fact, succeed in accommodating the court's operational needs without creating the burden of long-term financial debt.

COURTS, OFFICES & EOC

Programming, Master Planning, Full Design & Construction

Commerce, TX



Reference

Kerry Crews
Assistant City Manager
903.886.1130
(kerry.crews@commercetx.org)

Start Date

April 2004

Completion Date

June 2007

Other Pertinent Information

Size

37,000 SF

Project Construction Cost

\$5,500,000

Delivery Method

Construction Manager at Risk

Two Facilities Uniting Downtown Commerce, Texas

PROJECT DESCRIPTION

The Commerce Courts, Offices & EOC Complex consists of two buildings set a block apart threaded together by a pedestrian mall and joint-use parking.

Commerce engaged RSA to prepare a Preliminary Needs Assessment and Master Plan for the project to determine the appropriate sites, square footage, scope and costs. With the project located in a historic downtown CBD, RSA was tasked with comparing an infill site for the complex vs. reuse of the existing complex site. The latter solution was chosen in favor of allowing the infill site to develop as a future green space while utilizing the existing site to expand the CBD thus investing in the downtown Commerce revitalization effort.

The complex reflects the traditional red brick and white cast stone materials found in the downtown CBD. A civic plaza was placed as the central focus of the building with a traditional clock tower set at a 45 degree axis to the plaza facing the Central Business District. The Public Safety Building contains Law Enforcement Operations, Detention, Dispatch, Fire Administration, Central Fire Station and the EOC. To reduce the project cost, RSA's design called for the Law Enforcement and Fire departments to share Lobby, Training Room/EOC/Community Room, Dispatch, Showers, Locker Rooms and Fitness Center space. The Law Enforcement, Fire and EOC Complex provides drive-through access for Fire and Law Enforcement vehicles as well as the Sallyport.

The design of the Complex reflects the historic character of this City's traditional downtown CBD and the modest budget available for these much needed facilities.

Please take note that in order to illustrate how incredibly current this team is, we have chosen government, court and offices facilities that illustrate our prowess in every stage of a project delivery from design through the end of construction.

Project #1

Courts & Offices
(Completed)

Project #2

Courts & Law Facility
(Completed)

Project #3

Offices & Trooper HQ
(Completed)

Project #4

Courts & Offices
(Completed)

Project #5

Courts & Offices
(Completed) **27**

HISTORIC COURTS FACILITY

Programming, Master Planning, Full Design & Construction

Granbury, TX

Central Texas

Owner & Length of Relationship

Granbury, TX/ 15 Years

Size:

27,800 SF

Completion Date:

Design: July 2000 - January 2001

Construction NTP: April 2001

Substantial Completion: January 2003

Project Construction Cost:

Estimate - \$4,000,000

Final Cost - \$3,975,000

Owner Reference

Harold Sandel | City Manager (former)

817.408.7167

Granbury's Distinguished History

PROJECT DESCRIPTION

The City of Granbury derives over 65% of its income from tourism centered around its historic downtown square. The new Courts and Law Enforcement Facility site was located on an occupied tract of land directly adjacent to the downtown square within the historic overlay district.

The exterior design reflects the architectural vocabulary of the historic Hood County Courthouse, Granbury Opera House and Nutshell Retail Shop on the courthouse square through the use of large rough hewn limestone, authentically detailed wood windows, heavy wood cornices, eye-brow limestone lintels and metal standing seam roofing. Inside, the historic persona continues with rustic Brazilian mesquite hardwood floors, cherry millwork, hammered patina copper countertops, stamped metal ceilings and rough hewn limestone walls.

Granbury's Court Facility building contains Administration, Courts, Public Safety/Law Enforcement, Utility Billing, Finance, Community Development, Planning, Court Clerk, Building Inspection, Council Chambers and the Convention & Visitors Center (CVC).

The complex was designed as the terminus of an extended public entrance plaza with views through the main lobby to a large fountain, winding creek and courtyard behind the facility. Limestone clad veranda's at the second floor overlook both the front plaza and rear fountain.

Please take note that in order to illustrate how incredibly current this team is, we have chosen government, court and offices facilities that illustrate our prowess in every stage of a project delivery from design through the end of construction.

Project #1
Courts & Offices
(Completed)

Project #2
Courts & Law Facility
(Completed)

Project #3
Offices & Trooper HQ
(Completed)

Project #4
Courts & Offices
(Completed)

Project #5
Courts & Offices
(Completed)

TEXAS DPS STATE TROOPER HEADQUARTERS

Programming, Master Planning, Full Design & Construction

Florence, TX



Reference

Britten Barr
Senior Project Manager
Texas Facilities Commission
512.463.6088
Brit.Barr@thc.texas.gov

Start Date

Dec. 2011

Completion Date

January 2014

Other Pertinent Information

Size

38,000 SF

Project Construction Cost

\$15,000,000

Delivery Method

CM at Risk

Culture, Materials and Pride Synonymous with Hill Country Law Enforcement

PROJECT DESCRIPTION

The Texas Department of Public Safety owned 1100 acres near Austin, TX with a few supporting buildings on it. Through the Texas Facilities Commission, the DPS commissioned RSA to design a signature Headquarters Building for the State Troopers. The project scope included **(20) Staff Offices**, a two story Lobby/Gallery Pre-Function Space, Cafeteria with seating for 164, Catering Kitchen, large Tiered Lecture Hall, (2) medium Tiered Classrooms and a 40 person Classroom (each with state-of-the-art technology) and an outdoor meeting Amphitheater.

RSA's design called for cladding the building inside and out with large format limestone from a quarry 2 miles away from the project site. Located in the Texas Hill Country, the design incorporated traditional limestone, standing seam metal roof, cedar wood trim and architectural metal work punctuated by the official Texas Department of Public Safety star shaped logo over the entrance. The building has a continuous roof overhang and second floor balcony around the building to shade the large expanses of insulated exterior glazing. Inside, the large two story lobby provides pre-function space for groups of cadets and officers entering the conference rooms and cafeteria while doubling as a gallery for historic displays of the Dept. of Public Safety.

BIM AND SUSTAINABILITY

The DPS Headquarters Building was prepared in Revit Building Information Modeling software. The project is highly sustainable incorporating passive energy systems, rainwater harvesting, Xeriscape and native landscaping, high performance glazing systems, low flow water fixtures, limited irrigation systems, large overhangs and stone mass walls.

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Project #1
Courts & Offices
(Completed)

Project #2
Courts & Law Facility
(Completed)

Project #3
Offices & Trooper HQ
(Completed)

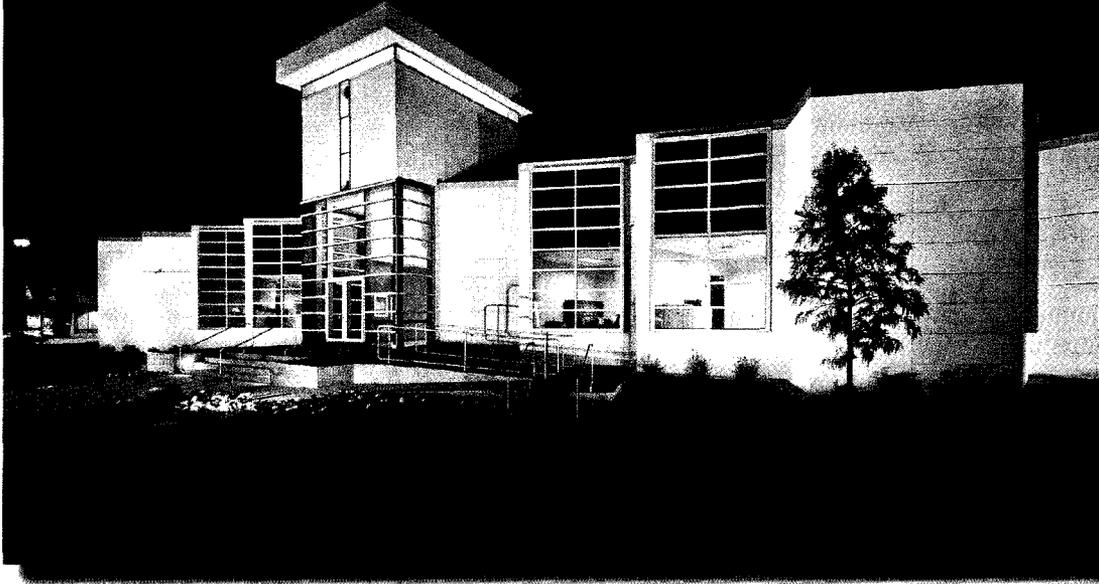
Project #4
Courts & Offices
(Completed)

Project #5
Courts & Offices
(Completed) **29**

COURTS & EOC

Programming, Master Planning, Full Design & Construction

Vidor, TX



Reference

Ricky Jorgensen
City Manager of Giddings, TX
979.540.2712
citymanager@giddings.net

Start Date

May 2008

Completion Date

Sept. 2010

Other Pertinent Information

Size

16,355 SF

Project Construction Cost

\$5,000,000

Delivery Method

Competitive Sealed Proposal

F4 Hardened Hurricane Resistant Emergency Operations Center

PROJECT DESCRIPTION

After losing its original government offices to hurricane Rita, the City of Vidor commissioned RSA to design a hardened Emergency Operations Center, courts and government offices building for its citizens. The EOC is outfitted with Dual backup generators, a city water lines as well as a redundant natural water well. It includes a strong exterior structure and an almost impenetrable inner core where the EOC is located.

RSA's design called for a curved multi-faceted building exterior with aquamarine colored glass as a metaphor reflecting ocean waves in this coastal setting. The stucco veneer was articulated to resemble a civic limestone building punctuated by the aquamarine glass. The EOC along with its supporting mechanical systems, power and communications equipment are protected by a cutting edge insulated concrete form (ICF) wall system and a poured in place concrete roof.

RSA went to great lengths to ensure that the citizens and employees entering this building would never perceive the EOC facility as a hurricane resistant facility by its aesthetics.

Please take note that in order to illustrate how incredibly current this team is, we have chosen government, court and offices facilities that illustrate our prowess in every stage of a project delivery from design through the end of construction.

Project #1
Courts & Offices
(Completed)

Project #2
Courts & Law Facility
(Completed)

Project #3
Offices & Trooper HQ
(Completed)

Project #4
Courts & Offices
(Completed)

Project #5 **30**
Courts & Offices
(Completed)

COURTS, LIBRARY & GOVERNMENT OFFICES

Programming, Master Planning, Full Design & Construction

Prosper, TX



Reference

Harlan Jefferson
Town Manager
(972) 569-1010

Start Date

Nov. 2016

Completion Date

Aug 2018

Other Pertinent Information

Size

53,000 SF

Project Construction Cost

\$19,500,000

Delivery Method

Construction Manager at Risk

Historic Setting for a Courts, Library & City Hall

PROJECT DESCRIPTION

RSA was tasked with the design of a Courts, Library & Town Hall complex that reflected the character of the small, local, but **HISTORIC, DOWNTOWN**. The fabric of this downtown consisted of antique red brick and cast stone with metal and stone accents. RSA's exterior design focused around **TIMELESS** Beaux Arts government vocabulary with oversized arched Richardsonian windows and highly detailed brickwork borrowed from the adjacent historic downtown structures. The building is clad in antique red brick with traditional cast stone, natural limestone and metal accents. Large columns and entablatures mark distinct entrances to the Courts, Library & Government Offices Complex. The building massing steps back at the third floor to provide roof terraces and verandas with views in all directions. The building sits atop an elevated podium with the top of its cupola standing at over 100 feet above ground. Inside, the building is a Great Hall which espouses a two story colonnade capped with 25 foot wide arches framing coffered ceilings appointed with **HISTORICALLY ACCURATE LUMINAIRES**.

An **INNOVATIVE** feature of the Courts & Library building was its ability to expand into dedicated shell space provided on each floor and onto third floor roof terraces on the east and west ends of the building. Until such time as the building needs to expand, these roof terraces provide unique amenity spaces for staff and the public to enjoy. This **ENVIRONMENTALLY FRIENDLY** building was designed with highly efficient HVAC units, daylight harvesting systems, LED lighting, CO2 sensors, economizer systems, solar shading elements, low-e insulated glazing and R-30 insulation with an air barrier in the walls and roof. Careful attention has been paid to providing a high degree of indoor air quality and natural daylight to each and every individual that works in and visits the building.

Please take note that in order to illustrate how incredibly current this team is, we have chosen government, court and offices facilities that illustrate our prowess in every stage of a project delivery from design through the end of construction.

Project #1

Courts & Offices
(Completed)

Project #2

Courts & Law Facility
(Completed)

Project #3

Offices & Trooper HQ
(Completed)

Project #4

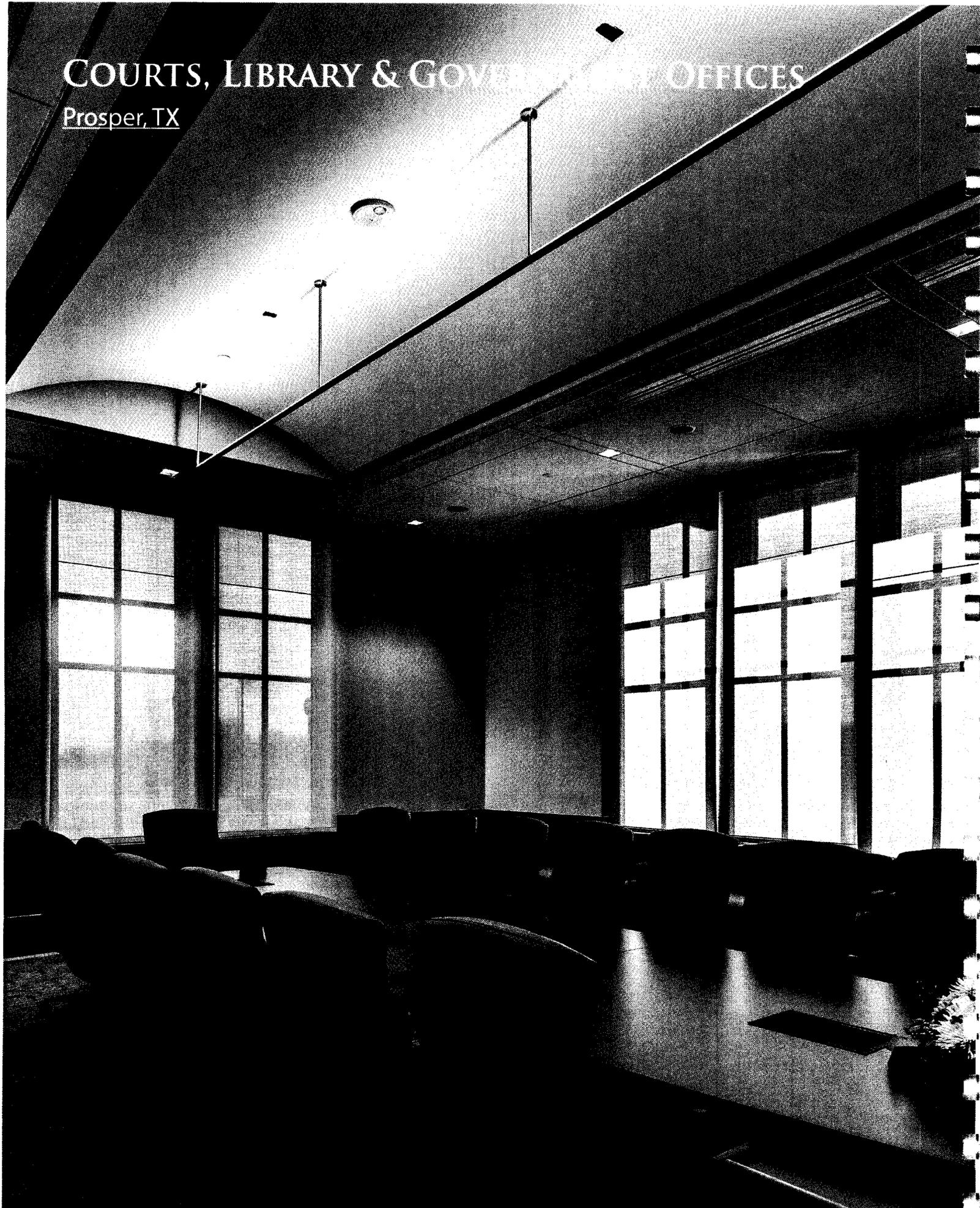
Courts & Offices
(Completed)

Project #5

31
Courts & Offices
(Completed)

COURTS, LIBRARY & GOVERNMENT OFFICES

Prosper, TX





6

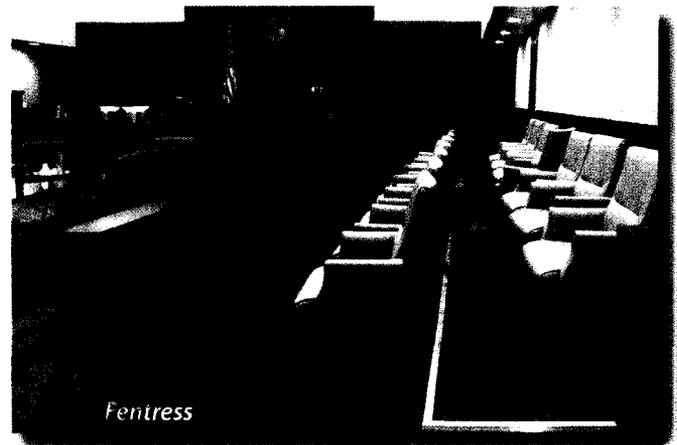
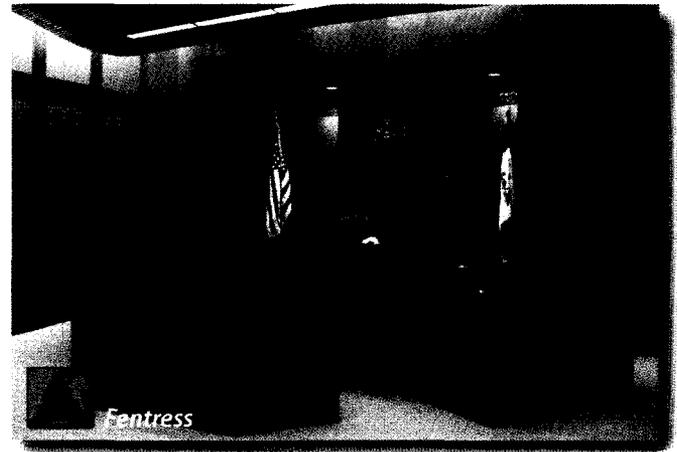
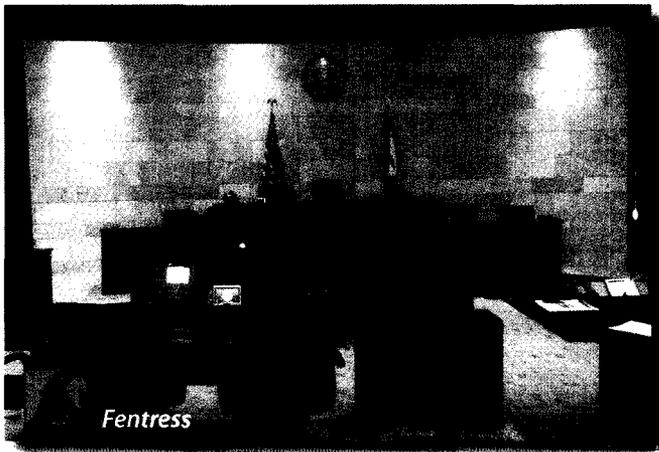
Challenges

DISCUSS UNIQUE CHALLENGES

RSA and specifically this team of architects are skilled at renovations and preservation of Public architecture. We recently completed a renovation of an historic 1914 public building in San Marcos, Texas. The project included ADA compliance, Life Safety upgrades and meeting the needs of modern buildings without damaging the historic nature of the facility. The project was listed on the Texas Historic Commission and was closely monitored by the THC review committees. Our team worked fervently to provide historically accurate windows, facade treatment and rehabilitation. The project required a WUFI Test to figure out where the dew point would occur in the clay tile wall structure used in this 1914 building.

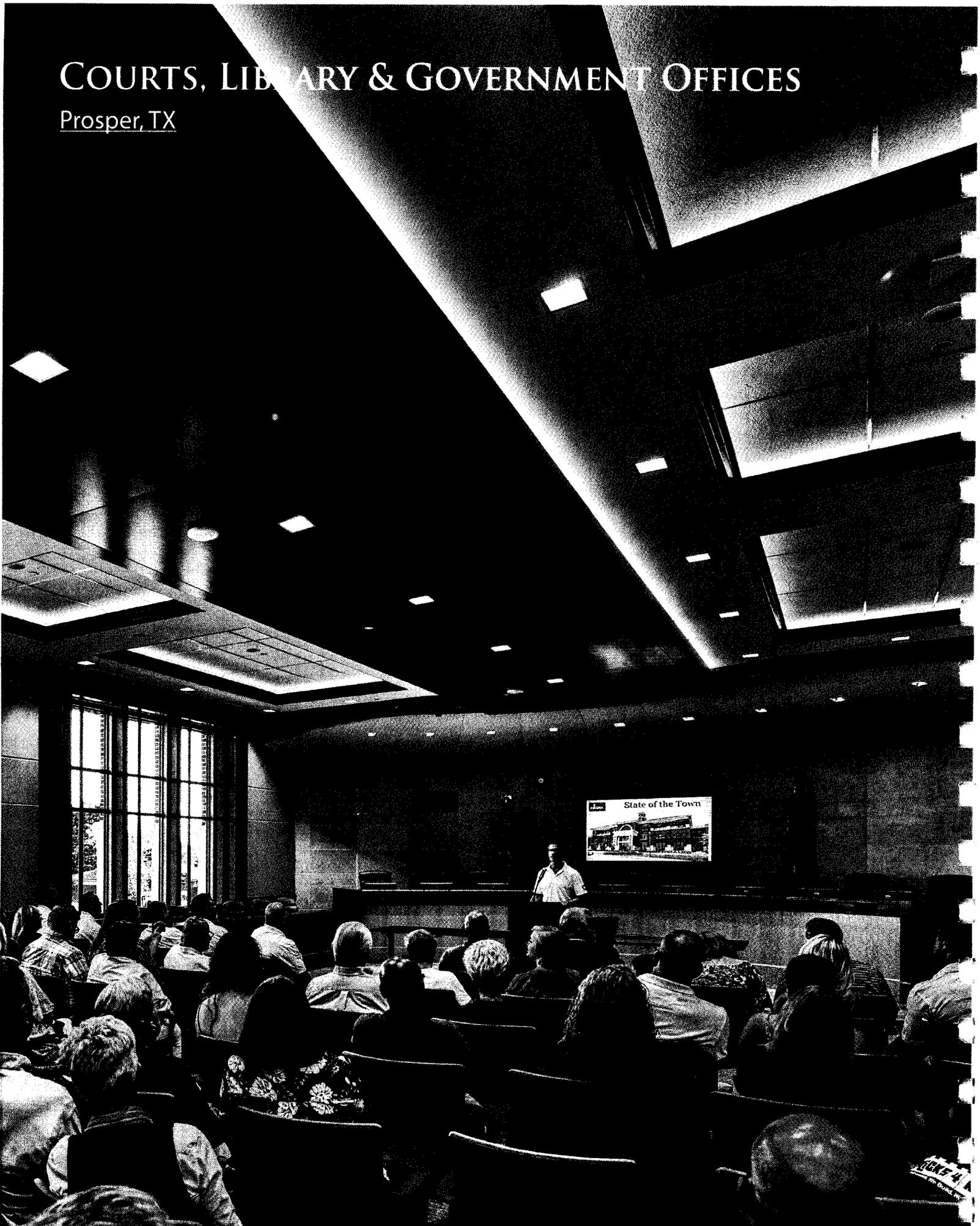
Example of a Challenge on similar Courts, Government Offices & Library in Prosper, Texas, RSA, we were working with a Construction Manager at Risk who we had not previously worked with on a project. To ensure the quality of construction was to RSA standards, we held many preconstruction meetings with the CMAR. In these meetings we had the architects, consultants and contractor analyzing the BIM/Revit model (example shown below) from a design and constructability standpoint. The project just opened four (4) days ago and has been commended as an incredibly successful project because of this intensive Quality Assurance effort.

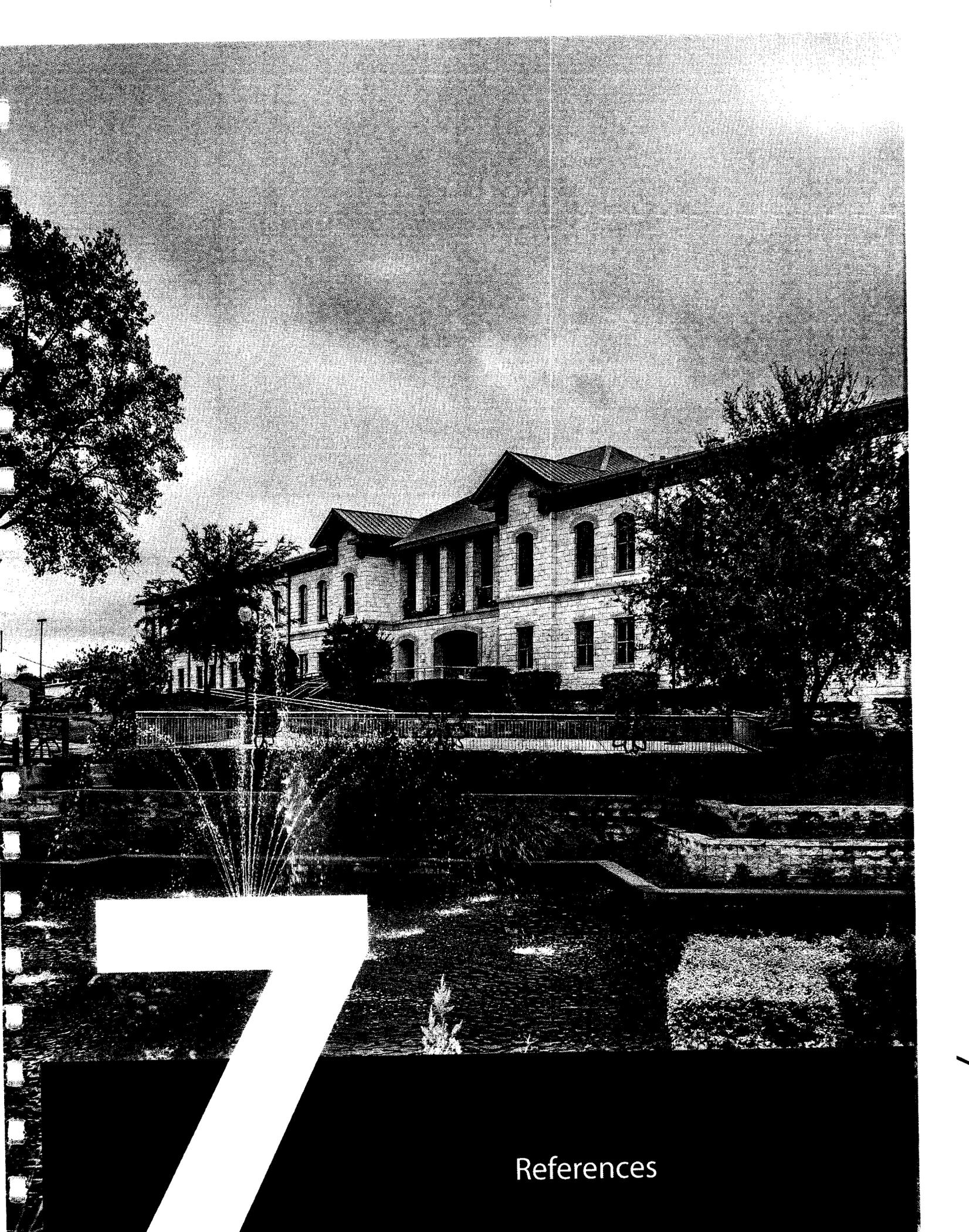
Example of a Challenge on the Courts, Public Safety Building & EOC in Commerce, Texas, our design team was working toward the most efficient and cost effective design possible, but the owner was not ready to spend the necessary amount to achieve mid level standards. Seeing that the owner was intent on only spending the planned amount, our design team got into collaborative meetings with the contractor to find a creative solution to bring the price down. The end result was a modification of a portion of the structure to a pre-engineered metal building while maintaining the custom downtown design on the historic Main Street side of the building. This public client to this day will commend RSA's outstanding design and economic solution to bring the project down within budget.



COURTS, LIBRARY & GOVERNMENT OFFICES

Prosper, TX





References

PREVIOUS CLIENT REFERENCES

HARLAN JEFFERSON

Town Manager

Town of Prosper, Texas

Referenced Project: Library & Government Offices (Town Hall)

PO Box 525 Prosper, TX 75078

972.346.2640

Harlan_Jefferson@prospertx.gov

KERRY CREWS

Assistant City Manager - Previously Police Chief

City of Commerce, Texas

Referenced Project: Public Safety Building & EOC

1119 Alamo, Commerce TX 75248

Office 903-886-1149; Cell 903-366-3512

kerry.crews@commercetx.org

RICKY JORGENSON

City Manager

Vidor City Manager (Former); City Manager of Giddings (Current)

Referenced Project: Vidor City Hall, Court & Emergency Operations Center

118 E. Richmond St., Giddings, TX. 78942

979.540.2712

citymanager@giddings.net

HAROLD SANDEL

City Manager (Former) City of Granbury

Referenced Project: Historic Courts Facility

817.408.7167

BRITTEN BARR

Senior Project Manager

Texas Historical Commission

Referenced Project: DPS State Trooper Headquarters

512.463.6088

Brit.Barr@thc.texas.gov



COURTS, LIBRARY & GOVERNMENT OFFICES

Prosper, TX





Future Expansion of Dublin North Railway



Insurance



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
6/25/2018

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER McLaughlin Brunson A Risk Strategies Company 12801 N CENTRAL EXPY, STE 1710 Dallas, TX 75243	CONTACT NAME: Joe Bryant
	PHONE (A/C, No, Ext): (214) 503-1212 FAX (A/C, No): (214) 503-8899 E-MAIL ADDRESS: certificate@mclaughlinbrunson.com
INSURED Randall Scott Architects, Inc. 2140 Lake Park Blvd. Suite 300 Richardson TX 75080	INSURER(S) AFFORDING COVERAGE
	INSURER A: Hartford Accident and Indemnity Company
	INSURER B: Travelers Casualty and Surety Co America
	INSURER C: Twin City Fire Insurance Company
	INSURER D: Hartford Casualty Insurance Company
	INSURER E:

COVERAGES **CERTIFICATE NUMBER:** 42733175 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
C	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Contractual Liability GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			46SBAAA7711	6/29/2018	6/29/2019	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY			46UECIC00288	6/29/2018	6/29/2019	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
C	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 10,000			46SBAAA7711	6/29/2018	6/29/2019	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000 \$
D	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A	46WECAB7JJK	6/29/2018	6/29/2019	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
B	Professional Liability			106318196	6/29/2018	6/29/2019	Per Claim \$ 2,000,000 Annual Aggregate \$ 4,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

The claims made professional liability coverage is the total aggregate limit for all claims presented within the annual policy period and is subject to a deductible. Thirty (30) day notice of cancellation in favor of the certificate holder on all policies.

CERTIFICATE HOLDER Master Certificate	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE Joe Bryant
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WISCONSIN COUNTY COURTHOUSE





TABLE OF CONTENTS

1. THE FIRM

2. PRINCIPAL BUSINESS

3. OFFICERS OF THE FIRM

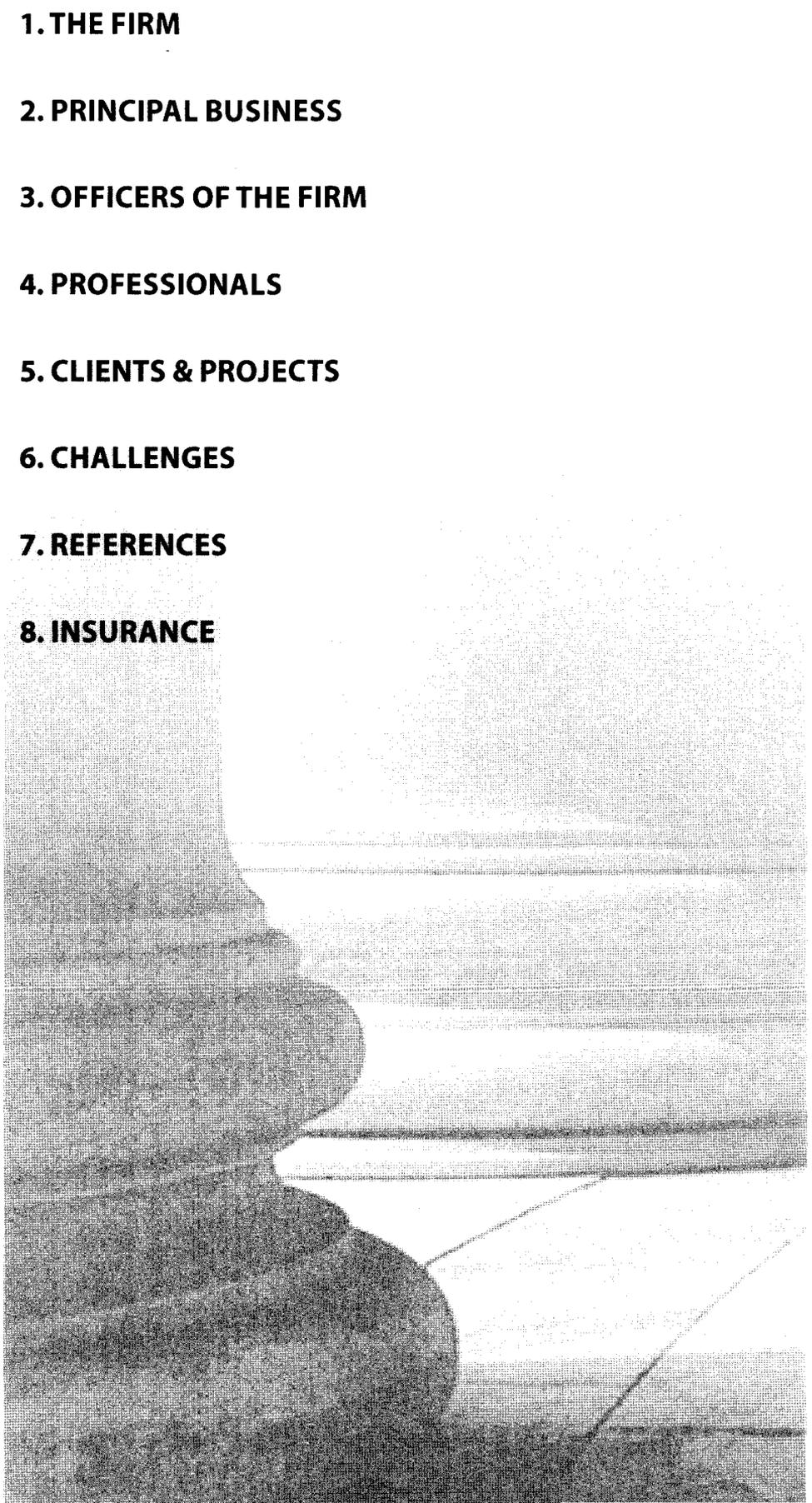
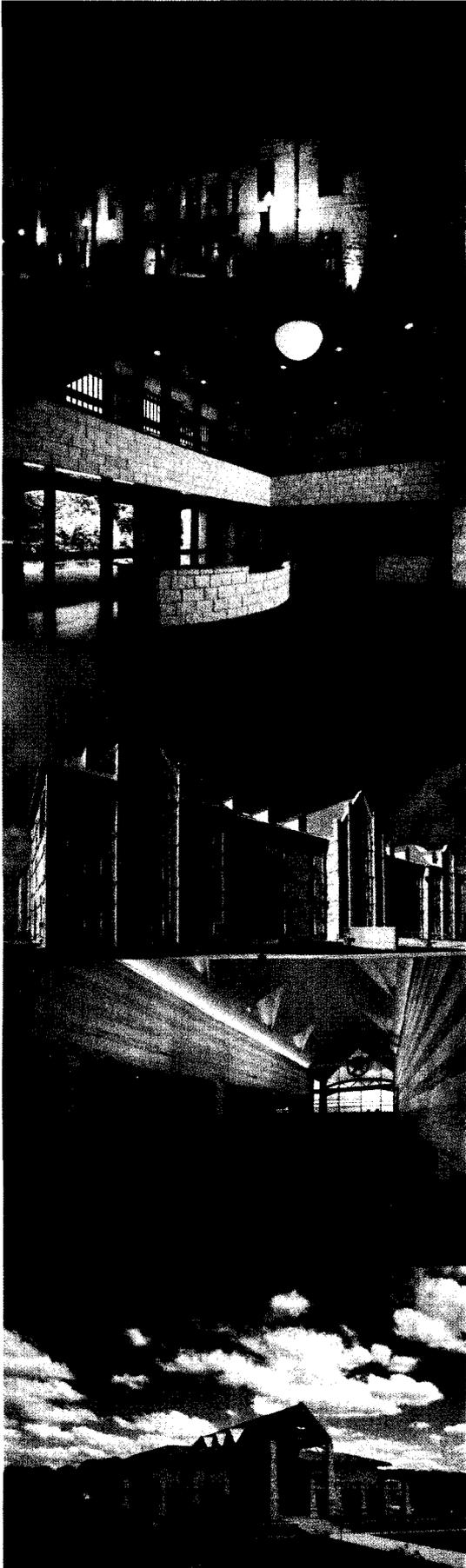
4. PROFESSIONALS

5. CLIENTS & PROJECTS

6. CHALLENGES

7. REFERENCES

8. INSURANCE



COURTS, LIBRARY & GOVERNMENT OFFICES

Prosper, TX



Comm Marshall Absent

Leann - Jackie Donece + Eleanor Addams



TYLER COUNTY COMMISSIONERS COURT

County Courthouse, Room 101 / Woodville, Texas

Friday
June 28, 2019
1:00 PM

MARTIN NASH
Commissioner, Pct. 1

STEVAN STURROCK
Commissioner, Pct. 2

JACQUES L. BLANCHETTE
County Judge

MIKE MARSHALL
Commissioner, Pct. 3

BUCK HUDSON
Commissioner, Pct. 4

NOTICE is hereby given that a *Special Meeting* of the Tyler County Commissioners Court will be held on the date stated above, at which time the following subjects will be considered and/or discussed;

Agenda

N/S

Consider/approve the engagement of LaBiche Architectural Group, Inc. as the Preservation Architect to satisfy the Texas Historical Commission requirement of the Remediation Agreement.

All yes

S/

> **ADJOURN**

1:16 adjourn

I do hereby certify that the above Notice of Meeting of the Tyler County Commissioners Court is a true and correct copy of said Notice and that I posted a true and correct copy of said Notice in the Tyler County Courthouse at a place readily accessible to the general public at all times and that said Notice remained so posted continuously for at least 72 hours preceding the scheduled time of said meeting, as is required by §551.002 & 551.041.

Executed on _____ 2019 Time _____

Donece Gregory, County Clerk/Ex Officio Member of Commissioners Court

By: _____ (Deputy)

Att B - Schematic is what Sharon Flew produced
the Dohy colored & coded